



## ACTIVITY DETERMINATION

Project No. BGWW7

### Conflict of Interest<sup>1</sup>

In this matter:

1. I have declared any possible conflict of interests (real, potential or perceived) to the Acting Chief Executive, Land & Housing Corporation.
2. I do not consider I have any personal interests that would affect my professional judgement.
3. I will inform the Acting Chief Executive, Land & Housing Corporation as soon as I become aware of a possible conflict of interest.

Signed.....

Name..... Emma Nicholson.....

Dated.....10 October 2023

Having regard to the Determination Recommendation Report, the Statement of Compliance and the Review of Environmental Factors for this project addressing matters under Part 5 of the *Environmental Planning and Assessment Act 1979*, I determine that the activity proceed as described below and subject to the identified requirements set out in **Schedule 1**.

### SITE IDENTIFICATION

#### STREET ADDRESS

Unit/Street No

189

Street or property name

Riverside Drive

Suburb, town or locality

Airds

Postcode

2560

Local Government Area(s)

Campbelltown

Real property description (Lot and DP)

Lot 2004 in DP1292964

### ACTIVITY DESCRIPTION

Provide a description of the activity

Demolition (fence and concrete footpath), removal of trees and construction of a 2-storey boarding house comprising 8 self-contained rooms, a common room, parking for 2 vehicles (including 1 accessible space), 2 motorbikes and 4 bicycles, landscaping and fencing.

1. Conflict of interest includes actual and potential. A conflict of interest includes pecuniary i.e. financial interests to you or a related party or non-pecuniary i.e. benefits to relatives, friends, business associates and personal causes, etc. This includes "related persons" as defined in the Property, Stock and Business Agency Act 2002.

Signed.....

Dated..... 10 October 2023

Emma Nicholson  
A/Head of Policy and Innovation  
Land and Housing Corporation  
Department of Planning & Environment

## SCHEDULE 1

### IDENTIFIED REQUIREMENTS

#### PART A – Standard Identified Requirements

#### THE DEVELOPMENT

*The following Identified Requirements are to ensure that the residential activity is carried out in accordance with the plans / documents and any amendments arising from the Review of Environmental Factors under Part 5 of the Environmental Planning & Assessment Act 1979, Section 171 of the Environmental Planning and Assessment Regulation 2021 and the requirements of State Environmental Planning Policy (Housing) 2021.*

1. The development shall be carried out substantially in accordance with the following plans / documents as modified below and by any of the undermentioned Identified Requirements:

Title / Name:	Drawing No / Document Ref	Revision / Issue:	Date [dd.mm.yyyy]:	Prepared by:
<b>Architectural Plans</b>				
Coversheet	20035 - A001	15	09.03.2023	Crawford Architects
Site Analysis Plan	20035 - A002	10	09.03.2023	Crawford Architects
Demolition/Tree Removal Plan	20035 - A003	07	09.03.2023	Crawford Architects
Deep Soil Area and Cos Analysis	20035 - A015	09	09.03.2023	Crawford Architects
Existing Site Survey	20035 - A100	08	09.03.2023	Crawford Architects
Site Plan	20035 - A101	08	09.03.2023	Crawford Architects
General Arrangement Plan – Ground Level	20035 - A200	16	09.03.2023	Crawford Architects
General Arrangement Plan – First Level	20035 - A201	13	09.03.2023	Crawford Architects
General Arrangement Plan - Roof	20035 - A202	10	09.03.2023	Crawford Architects
Cut & Fill Plan	20035 - A203	07	09.03.2023	Crawford Architects
Existing and Proposed Street View	20035 - A300	09	09.03.2023	Crawford Architects
Building Elevation	20035 - A301	12	09.03.2023	Crawford Architects
Building Section	20035 - A310	08	09.03.2023	Crawford Architects
3D Views and Finishes Schedule	20035 - A500	10	09.03.2023	Crawford Architects
Room Type Schedule	20035 - A501	06	09.03.2023	Crawford Architects



Title / Name:	Drawing No / Document Ref	Revision / Issue:	Date [dd.mm.yyyy]:	Prepared by:
Solar Diagrams – Ground Floor	20035 – A510	10	09.03.2023	Crawford Architects
Solar Diagrams – First Floor	20035 – A511	10	09.03.2023	Crawford Architects
Shadow Diagrams	20035 – A520	09	09.03.2023	Crawford Architects
<b>Civil/ Stormwater Plans</b>				
Stormwater Site Drainage Layout Plan	C01	F	22.03.2023	Michael Ell Consulting Engineers
Stormwater Details	C02	B	10.05.2022	Michael Ell Consulting Engineers
Soil and Erosion Control Plan	C03	D	11.01.2023	Michael Ell Consulting Engineers
Erosion and Sediment Control Details	C04	C	07.02.2022	Michael Ell Consulting Engineers
<b>Hydraulic Plans</b>				
Cover Sheet	H-000	5	22.11.2022	Marline Building Services Engineers
Legend, Notes & Schedule	H-001	5	22.11.2022	Marline Building Services Engineers
Site Services	H-100	5	22.11.2022	Marline Building Services Engineers
<b>Landscape Plans</b>				
Cover Sheet	000	I	03.04.2023	Site Image Landscape Architects
Landscape Plan	101	J	03.04.2023	Site Image Landscape Architects
Landscape Details	501	B	07.07.2022	Site Image Landscape Architects
Landscape Details	502	A	14.07.2022	Site Image Landscape Architects
<b>Notification Plans</b>				
Notification Cover	A700	11	09.03.2023	Crawford Architects
Notification Plan	A701	09	09.03.2023	Crawford Architects
Development Data	A702	11	09.03.2023	Crawford Architects
Notification Elevations	A703	10	09.03.2023	Crawford Architects
Notification Finishes Schedule	A704	11	09.03.2023	Crawford Architects
Shadow Diagrams	A705	08	09.03.2023	Crawford Architects
<b>BASIX and NatHERS</b>				
BASIX Certificate	1342172M_02	-	29 March 2023	Marline Newcastle
NatHERS Certificate	0008089781 0008089799 0008089807 0008089815 0008089823 0008089831 0008089849 0008089856	-	26 September 2022	Marline Newcastle
<b>Reports</b>				
Access Report	LP_20279	Rev. 4	22 March 2023	Lindsay Perry Access
Arbicultural Assessment and Tree Protection Plan	189 Riverside Drive, Airds	1.2	12 September 2022	Vertical Tree Management & Consultancy
BCA Design Compliance Assessment	P220060	4	21 March 2023	BCA Vision
Geotechnical Investigations	20/1924	-	19 June 2020	STS Geotechnics
Waste Management Plan	E963	B	25 November 2022	Creative Planning Solutions
Traffic Assessment	426	-	18 November 2022	Amber Organisation
Bushfire Protection	20PIE07		20 December	Travers Bushfire & Ecology

Title / Name:	Drawing No / Document Ref	Revision / Issue:	Date [dd.mm.yyyy]:	Prepared by:
Assessment			2022	

2. All building work is to be undertaken in accordance with the National Construction Code and referenced Australian Standards.
3. All commitments listed in the BASIX certificate and stamped plans shall be implemented.
4. All construction documentation and building work is to be certified in accordance with Section 6.28 of the *Environmental Planning and Assessment Act 1979*.

## OPERATIONAL MATTERS

*The following Identified Requirements relate to the use of the site and are to ensure that the activity and its operation do not interfere with the amenity of the surrounding area.*

### Stormwater Run-off

5. Stormwater shall be collected within the site and conveyed in a pipeline to the appropriate gutter or drain under the control of Campbelltown City Council substantially in accordance with the approved concept stormwater drainage plans.
6. Alterations to the natural surface contours or surface absorption characteristics of the site shall not impede, increase or divert natural surface water runoff so as to cause a nuisance to adjoining property owners.
7. All driveways shall be graded in such a manner as to provide continuous surface drainage flow paths to the appropriate points of discharge.
8. To prevent water from entering buildings, surface waters shall be collected and diverted clear of the buildings by a sub-surface / surface drainage system.

### Vehicular Access & Parking

9. A concrete vehicular crossing and layback shall be provided at the entrance/exit to the property. The crossing and layback shall be constructed in accordance with Campbelltown City Council's standard requirements for residential crossings. Council shall be provided with plans for the crossing and layback together with the payment of any council inspection fees.
10. Particular care shall be taken in the location of vehicular crossings and/or laybacks to avoid poles, pits etc. The cost of any necessary adjustments to utility mains and services associated with the construction of the layback/driveway shall be borne by the Land & Housing Corporation. Obsolete gutter layback(s) shall be constructed as kerb in accordance with Campbelltown City Council's standards.

**Note:**

*It is recommended that discussion be held with the relevant authorities before construction works commence.*

11. Car parking spaces and driveways shall be constructed of concrete or other approved hard surfaced materials. The spaces must be clear of obstructions and columns, permanently line marked and provided with adequate manoeuvring facilities. The design of these spaces must comply with AS 2890.1.

### Site Works

12. All soil erosion and sediment control measures required to be put in place prior to the commencement of demolition / construction works shall be maintained during the entire period of the works until all the disturbed areas are restored by turfing, paving or revegetation. Soil erosion and sediment control measures shall be designed in accordance with the guidelines set-out in the Blue Book *Managing Urban Stormwater: Soils and Construction* (4th edition, Landcom, 2004).
13. An appropriately qualified person shall design retaining walls or other methods necessary to prevent the movement of excavated or filled ground, including associated stormwater drainage measures.

## **Building Siting**

14. All buildings shall be sited well clear of any easements affecting the site. The builder shall ascertain if any easements do exist and, if they do, obtain full details of such prior to construction commencing.

## **Smoke Detection System(s)**

15. Smoke detection systems shall be installed throughout the building in accordance with requirements of Clause E2.2a of the Building Code of Australia. Detectors and alarms shall comply with AS 3786 and AS 1670 and must:
- i. be connected to a permanent 240V power supply; and
  - ii. be provided with a battery backup to activate the alarm unit in the event of failure of the permanent power supply.

## **Site Soil Contamination**

16. If the site is identified as being potentially affected by soil contamination, it shall be inspected by a suitably qualified person to identify any contaminated or hazardous material present. A proposal for remediation shall be prepared, which may include preparation of a Remedial Action Plan, and remediation shall be carried out in accordance with the proposal. A Validation Report, prepared in accordance with Environment Protection Authority requirements, shall be obtained from a qualified expert on completion of the remediation work to verify that the site is suitable for the intended residential use. A copy of the Validation Report shall be provided to the Land & Housing Corporation on completion of the remediation works.

## **Landscaping**

17. Landscaping shall be carried out substantially in accordance with the approved landscape plan(s) and maintained for a period of 12 months by the building contractor. Campbelltown City Council shall be consulted in relation to the planting of any street trees.
18. All scheduled plant stock shall be pre-ordered, prior to commencement of construction or 3 months prior to the commencement of landscape construction works, whichever occurs sooner, for the supply to the site on time for installation. The builder shall provide written confirmation of the order to the Land & Housing Corporation.

## **Tree Removal**

19. Removal of trees within the boundaries of the site is to be carried out in accordance with the trees shown for removal on the approved demolition/tree removal plan (drawing A0003) and Arboricultural Assessment and Tree Protection Plan and no other trees shall be removed without further approval(s).

## **Fencing**

20. All front fencing and gates shall be constructed wholly within the boundaries of the site. Any gates associated with the fencing shall swing inwards towards the site.

### Provision of Letterbox Facilities

21. Suitable letterbox facilities are to be provided in accordance with Australia Post specifications.

### Public Liability Insurance

22. A valid public liability insurance policy of at least \$10M shall be maintained throughout the demolition / construction works by the contractor.

### PRIOR TO ANY WORK COMMENCING ON THE SITE

*The following Identified Requirements are to be complied with prior to any work commencing on the site, including demolition.*

### Disconnection of Services

23. All services that are required to be disconnected shall be appropriately disconnected and made safe prior to commencement of the demolition / construction works. The various service authorities shall be consulted regarding their requirements for the disconnection of services.
24. All existing services within the boundary to remain live shall be identified, pegged and made safe.

### Demolition

25. The builder shall notify the occupants of premises on either side, opposite and at the rear of the site a minimum of five (5) working days prior to demolition. Such notification shall be clearly written on an A4 size paper giving the date demolition will commence and be placed in the letterbox of every premise (including every unit in a multi-unit residential building or mixed-use building). The demolition shall not commence prior to the date that is stated in the notice letter.
26. Prior to the demolition, a Work Plan shall be prepared by a competent person(s) in accordance with AS 2601 and shall be submitted to the Land & Housing Corporation. The Work Plan shall outline the identification of any hazardous materials (including surfaces coated with lead paint), method of demolition, the precautions to be employed to minimise any dust nuisance and the disposal methods for hazardous materials.
27. If buildings to be demolished are determined as, or suspected of, containing asbestos cement, a standard commercially manufactured sign containing the words 'DANGER ASBESTOS REMOVAL IN PROGRESS', and measuring not less than 400mm x 300mm, shall be erected in a prominent visible position on the site for the duration of the demolition works.

***Note:***

*Any buildings constructed before 1987 is assumed to contain asbestos.*

### Utilities Service Provider Notification

28. The demolition / construction plans shall be submitted to the appropriate water utility's office (e.g. Sydney Water office) to determine whether or not the development will affect the utility's sewer and water mains, stormwater drains and any easements.

**Note:**

*If the development complies with water utility's requirements, the plans will be stamped indicating that no further requirements are necessary.*

### Council Notification

29. Campbelltown City Council shall be advised in writing, of the date it is intended to commence work, including demolition. A minimum period of **five (5)** working days notification shall be given.

### Site Safety

30. A sign shall be erected in a prominent position on any site on which demolition or building work is being carried out:
- (a) showing the name, address and telephone number of the responsible Land & Housing Corporation officer for the work, and
  - (b) showing the name of the principal contractor (if any) and a telephone number on which that person may be contacted outside working hours, and
  - (c) stating that unauthorised entry to the work site is prohibited.

The sign shall be maintained while the work is being carried out but shall be removed when the work has been completed.

**Note:**

*This requirement does not apply in relation to building work that is carried out inside an existing building that does not affect the external walls of the building.*

31. A minimum 1.8m high security fence or Class A / Class B (overhead) hoarding must be erected between the work site and any public place prior to demolition / construction. Access to the site shall be restricted to authorised persons only and the site shall be secured against unauthorised entry when demolition / construction work is not in progress or the site is otherwise unoccupied.

**Note:**

*Approval from the relevant roads authority will be required under Section 138 of the Roads Act 1993 where a Class A or B hoarding encroaches onto the footpath of / or a public thoroughfare within a classified road.*

32. No building or demolition materials are to be stored on the footpath or roadway.

### Site Facilities

33. The following facilities shall be installed on the site:
- (a) Toilet facilities shall be provided at the rate of 1 toilet for every 20 persons or part thereof employed at the site. Each toilet provided shall be a standard flushing toilet and shall be connected to a public sewer or if connection to a public sewer is not practicable, to an accredited sewerage management facility provided by Campbelltown City Council or if this is not practicable to some other council approved management facility.
  - (b) Adequate refuse disposal methods and builders storage facilities. Builders' wastes, materials or sheds shall not to be placed on any property other than that which this approval relates to.

34. Access to the site shall only be provided via an all-weather driveway on the property and is not to be provided from any other site.

#### Protection of Trees

35. Trees and other vegetation that are to be retained on site shall be protected prior to the commencement of works and for the duration of the construction period in accordance with the details provided in the Arboricultural Assessment and Tree Protection Plan.

#### Waste Management

36. A final Waste Management Plan shall be prepared and submitted to the Land & Housing Corporation by the building contractor prior to the commencement of demolition / construction. The plan shall detail the amount of waste material and the destination of all materials, recyclable and non-recyclable.

#### PRIOR TO ANY CONSTRUCTION WORK COMMENCING ON SITE

*The following Identified Requirements are to be complied with prior to any construction works occurring on the site, excluding demolition.*

#### Service Authority Clearances

37. A compliance certificate, or other evidence, shall be obtained from Sydney Water, confirming service availability and impacts to existing assets prior to work commencing.

***Note:***

*Payment of water and/or sewer service charges and/or a notice of requirements for works to be carried out during construction / prior to occupation may be applicable prior to issue of the compliance certificate.*

38. A written clearance from an electricity supply authority stating that electrical services are available to the site, or that arrangements have been entered into for the provision of services to the site, shall be obtained prior to work commencing.
39. A certificate from an approved telecommunications carrier certifying that satisfactory arrangements have been made for the provision of underground telephone services, to the site and to each dwelling, shall be obtained prior to work commencing.
40. Where the site is to be connected to reticulated gas, a certificate from an approved gas carrier to certify that satisfactory arrangements have been made to ensure the provision of underground gas services to each dwelling in the development shall be obtained prior to work commencing.

#### Stormwater Disposal

41. A detailed stormwater drainage plan(s), substantially in accordance with the approved concept stormwater drainage plan(s), shall be prepared and submitted to the Land & Housing Corporation. Any on-site detention system shall be designed in accordance with the relevant catchment authority's requirements (e.g. the Upper Parramatta River Catchment Trust On-site Detention Handbook) and/or Campbelltown City Council's drainage code.

## DURING DEMOLITION AND CONSTRUCTION WORKS

*The following Identified Requirements are to be complied with whilst demolition and construction works are occurring on the site.*

### Landfill

42. Where site filling is necessary, a minimum of 95% standard compacting shall be achieved and certified by a NATA registered Soils Lab.
43. Land fill materials must satisfy the following requirements:
  - i. be Virgin Excavated Natural Matter (VENM);
  - ii. be free of slag, hazardous, contaminated, putrescible, toxic or radio-active matter; and
  - iii. be free of industrial waste and building debris.

### Heritage

44. Historic and indigenous archaeological sites and relics are protected under the *Heritage Act 1977* and *National Parks and Wildlife Act 1974*, respectively. Should any relics be uncovered during the course of the approved works, work must cease immediately in the affected area. Subsequently, in cases where historical items have been uncovered, the Department of Planning and Environment must be contacted.
45. All workers / contractors on the site shall be informed of their obligations, under the *Heritage Act* and *National Parks and Wildlife Act 1974*, that it is illegal to disturb, damage or destroy a relic without the prior approval.

### Demolition

46. Any existing structures identified for demolition shall be demolished prior to commencement of the construction of the activity.
47. Demolition shall be carried out in accordance with the appropriate provisions of AS 2601.
48. Where materials containing asbestos are to be removed, demolition shall be carried out by a licensed contractor(s) who have current SafeWork NSW accreditation in asbestos removal.
49. Removal of asbestos-based thermal or acoustic insulation, such as sprayed asbestos and asbestos-based lagging, including friable asbestos boards, shall be carried out in accordance with the National Occupational Health and Safety Commission's Code of Practice for the Safe Removal of Asbestos, 2<sup>nd</sup> Edition [NOHSC:2002 (2005)].
50. Hazardous or intractable wastes, including all asbestos laden waste, arising from the demolition process shall be removed and disposed of in accordance with the requirements of SafeWork NSW and the Department of Planning and Environment.
51. Documentary evidence, in the form of tip receipts from an approved Waste Management Facility, shall be obtained by the demolition contractor and submitted to the Land & Housing Corporation demonstrating the appropriate disposal of the asbestos waste.



- 52. Demolition procedures shall maximise the reuse and recycling of demolished materials in order to reduce the environmental impacts of waste disposal.
- 53. During demolition, the public footpath and the public road shall not be obstructed by any vehicles. The public road and footpath shall be swept (not hosed) clean of any material, including clay, soil and sand.
- 54. All vehicles leaving the site with demolition materials shall have their loads covered and vehicles shall not track soil and other material onto the public roads and footpaths. The footpath shall be suitably protected against damage when plant and vehicles access the site. All loading of vehicles with demolished materials shall occur on site.

### **Survey Reports**

- 55. Survey reports shall be submitted by the building contractor to the Land & Housing Corporation prior to the placement of the footings / slab and on completion of the dwellings to verify the correct position of the structures in relation to the allotment boundaries.

### **Hours of Demolition / Construction / Civil Work**

- 56. Demolition / construction / civil work shall only occur on the site between the hours of 7.00am to 5.00pm Monday to Saturday with no work permitted on Sundays or public holidays.

### **Excavation & Backfilling**

- 57. All excavations and backfilling associated with the demolition or erection of building(s) shall be executed safely and in accordance with appropriate professional standards. All such work shall be guarded and protected to prevent it from being dangerous to life or property.

### **Pollution Control**

- 58. Any noise generated during the construction of the development shall not exceed the limits specified in the July 2009 Interim Construction Noise Guidelines, published by the former Department of Environment and Climate Change.
- 59. No fires shall be lit or waste materials burnt on the site.
- 60. No washing of concrete forms or trucks shall occur on the site.
- 61. Any contamination / spills on the site during construction works shall be actively managed and reported immediately to appropriate regulatory authorities to minimise any potential damage to the environment.
- 62. Dust generation during demolition / construction shall be controlled using regular control measures such as on site watering or damp cloth fences.
- 63. All vehicles transporting loose materials and travelling on public roads shall be secured (i.e. closed tail gate and covered) to minimise dust generation.

64. Non-recyclable waste and containers shall be regularly collected and disposed of at a licensed landfill or other disposal site in accordance with details set out in the final Waste Management Plan.

#### **Impact of Construction Works**

65. The Land & Housing Corporation shall bear the cost of any necessary adjustments to utility mains and services.
66. Care shall be taken to prevent any damage to adjoining properties. The building contractor shall be liable to pay compensation to any adjoining owner if, due to demolition/construction works, damage is caused to such adjoining property.

#### **Termite Protection**

67. To protect buildings from subterranean termite, termite barriers installed in accordance with AS 3660.1, shall be placed on the underside and in penetrations of the concrete slab floor.

In addition, a durable notice must be permanently fixed inside the meter box indicating:

- (a) the method of protection,
- (b) the date of installation of the system,
- (c) where a chemical barrier is used, its life expectancy as listed on the National Registration Authority label, and
- (d) the need to maintain and inspect the system on a regular basis.

#### **PRIOR TO OCCUPATION OF THE DEVELOPMENT**

*The following Identified Requirements are to be complied with prior to the occupation of the development.*

##### **General**

68. The use or occupation of the development shall not commence until all the Identified Requirements of this determination have been complied with.

##### **Council Infrastructure Damage**

69. The cost of repairing any damage caused to Campbelltown City Council's assets in the vicinity of the site as a result of demolition / construction works shall be met in full by the building contractor.

##### **Stormwater Drainage**

70. Prior to occupation, a Work As Executed Plan shall be prepared by the building contractor clearly showing all aspects of the constructed stormwater drainage system, including any on-site detention system. The plan shall demonstrate general compliance with the approved concept stormwater drainage plan(s) and shall include:
- sufficient levels and dimensions to verify the constructed storage volumes; and
  - location and surface levels of all pits; and

- invert levels of the internal drainage lines, orifice plates fitted and levels within the outlet control pits; and
- finished floor levels of all structures; and
- verification that any required trash screens have been installed; and
- locations and levels of any overland flow paths; and
- verification that any drainage lines are located wholly within easements, where applicable.

The Work-As-Executed Plan information shall be shown on the final civil works drawings.

A positive covenant and restriction-as-to-user shall be placed over the onsite detention system in accordance with Campbelltown City Council's on-site detention policy to ensure that the system will be adequately maintained. The positive covenant and restriction-as-to-user shall be registered at NSW Land Registry Services prior to occupation. A copy of the registered restriction-as-to-user shall be provided to the Land & Housing Corporation and Campbelltown City Council.

## **PART B – Additional Identified Requirements**

### **Site Specific Requirements**

71. To manage bush fire risk and comply with Planning for Bushfire Protection 2019 (PBP), the development shall comply with the following requirements as outlined in the Bushfire Protection Assessment prepared by Travers Bushfire & Ecology dated 20 December 2022:
  - a. The development is as generally indicated on Schedule 1 of the bushfire protection assessment.
  - b. Building construction standards for the proposed construction within 100m of bushfire prone land are to be applied in accordance with AS3959 *Construction of buildings in bushfire prone areas (2018)* and PBP. The recommended construction standard is minimum BAL 12.5.
  - c. Water, electricity and gas supply is to comply with Section 5.3.3 of PBP.
  - d. Fencing is to comply with Section 7.6 of PBP. All fences in bush fire prone areas should be made of either hardwood or non-combustible material. In circumstances where the fence is within 6m of a building or in areas of BAL 29 or greater, they should be made of non-combustible material only.
72. Fencing provided along the side and rear boundaries is to comply with the following:
  - Be no more than 1.8m in height.
  - Where within 5.5m of the front boundary, fencing must be semi-transparent (i.e. not solid colorbond) and be no more than 1.2m in height.
73. An appropriate replacement tree must be incorporated into the Landscape Plan to compensate for the loss of T3, located in the front setback. The replacement tree must be a species nominated by a registered landscape architect as being appropriate species and size for the location. The replacement tree must be semi-mature height at the time of planting.
74. Trees shown on the Landscape Plan prepared by Site Image dated 03/04/2023 that have a mature height of 6m or greater must be located no less than 3m from a building.

75. The privacy screens provided to the living room windows on the northeast elevation of Rooms 05 & 07, and northwest elevation of the balcony off Room 07 are not required to mitigate privacy impacts and are therefore to be deleted to improve solar access to these internal areas.
76. A site-specific Plan of Management (PoM) for the operation and management of the proposed boarding house development, including procedures for handling neighbour complaints, is to be prepared. The PoM is to be administered on site by the community housing provider responsible for managing the boarding house.
77. The maximum occupancy of each boarding room must not exceed 2 adult residents.
78. The surface of the bin storage area is to be graded to drain towards the landscaped area located to the northwest.

#### Requirements Resulting from Council Comments

79. A fixed privacy screen is to be provided to the northeast elevation of the balcony of Room 07 to prevent potential overlooking to the private open space of neighbouring properties.
80. Council is to be contacted prior to the completion of construction works to discuss waste collection arrangements for the boarding house development.

#### ADVISORY NOTES

- i. Approval of this development activity does not imply or infer compliance with Section 23 of the *Disability Discrimination Act 1992*. Refer to AS 1428.1 and the Building Code of Australia for detailed guidance.
- ii. Information regarding the location of underground services may be obtained from Dial Before You Dig at [www.1100.com.au](http://www.1100.com.au) or by dialing 1100.

# Decision Statement

Project No. BGWW7

SITE IDENTIFICATION	
STREET ADDRESS	
Unit/Street No.	Street or property name
189	Riverside Drive
Suburb, town or locality	Postcode
Airds	2560
Local Government Area(s)	Real property description (Lot and DP)
Campbelltown	Lot 2004 in DP1292964
ACTIVITY DESCRIPTION	
Provide a description of the activity	
Demolition (fence and concrete footpath), removal of trees and construction of a 2-storey boarding house comprising 8 self-contained rooms, a common room, parking for 2 vehicles (including 1 accessible space), 2 motorbikes and 4 bicycles, landscaping and fencing.	

The Land & Housing Corporation (LAHC) has proposed the above activity under the provisions of *State Environmental Planning Policy (Housing) 2021* (Housing SEPP) which requires determination under Part 5 of the *Environmental Planning & Assessment Act 1979* (EP&A Act). This Decision Statement relates to the Review of Environmental Factors (REF) for the above activity prepared under Part 5 of the EP&A Act and the *Environmental Planning and Assessment Regulation 2021*.

Based on the REF document, a decision to proceed with the proposed activity has been made. This decision included consideration of the following:

## Significant Impact on the Environment

- The proposed activity is not likely to have a significant impact on the environment and therefore an EIS is not required.
- The proposed activity will not be carried out in a declared area of outstanding biodiversity value and is not likely to significantly affect threatened species, populations or ecological communities, or their habitats or impact biodiversity values, meaning a SIS and/or BDAR is not required.

## Reasons for the Decision

- Following an assessment of the proposed activity and associated environmental impacts within the REF it was decided that the proposed boarding house development will have economic and social benefits and any minor short-term impacts on the environment or surrounding properties can be appropriately mitigated.
- The proposed boarding house development will assist LAHC in providing new, fit for purpose housing in the Campbelltown local government area which will assist in addressing the existing and growing demand for social housing in Campbelltown local government area.

Mitigation Measures

- Mitigation measures are required to minimise or manage environmental impacts and are detailed throughout the REF and specifically within **Section 7**. All mitigation measures are detailed as Identified Requirements within the Activity Determination. Additional mitigation measures, detailed in the Activity Determination have been imposed to minimise the impact on the surrounding environment, ensure appropriate site safety and to ensure legislative compliance.

Signed.....

Dated..... 10 October 2023

**Emma Nicholson**  
**Acting Head of Policy and Innovation**  
**Land and Housing Corporation**  
**Department of Planning & Environment**



189 RIVERSIDE DR, AIRDS, NSW 2560 LOT: 1216 / DP: 1183302 / DP: 609357  
PROPOSED BOARDING HOUSING

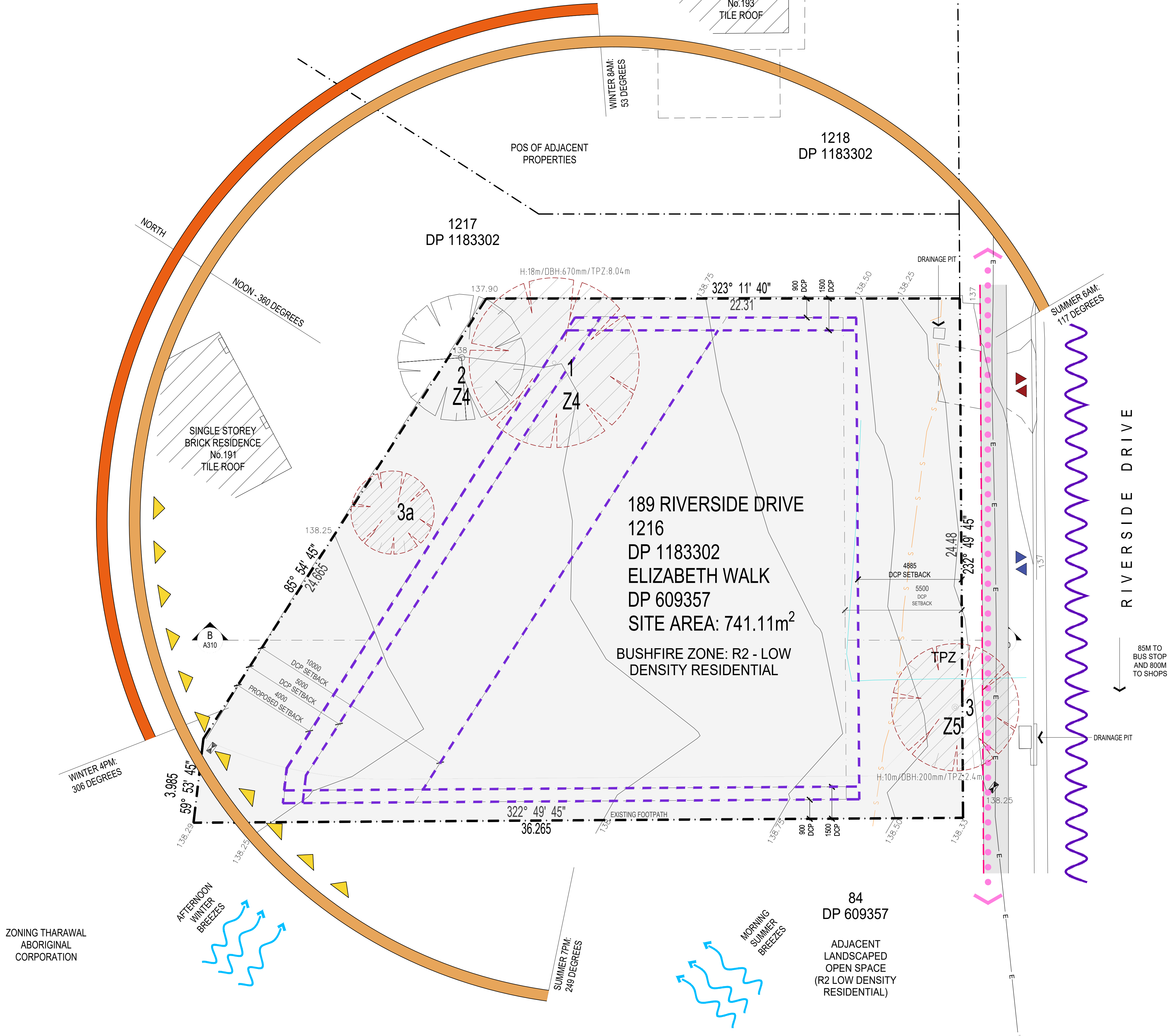
[illegible]

DEVELOPMENT DATA							
Job Reference	BGWW7						
Locality / Suburb	Airds						
Street Address	189 Riverside Drive / Elizabeth Walk						
Lot Number(s) & Deposited Plan	1216 (D.P.1183302) / Elizabeth Walk (D.P.609357)						
SITE AREA PROPOSED (sqm)	741.11						
NUMBER OF EXISTING LOTS	1						
PROPOSED GFA (sqm)	411.07						
NUMBER OF DWELLINGS	8 rooms - 8 Studios (100%)						
DWELLING AREAS	Unit no.	Type	No. of Lodgers	Required room size (excl. wet areas)	Area (excl. wet areas)	Total (sqm)	POS (sqm)
	1	Ground	1	Min. 12m2 (single lodger)	25	38.54	28.12
	2	Ground	1		25	36	15.9
	3	Ground	1		25	36.16	19.23
	4	Ground	1		25	36	11.47
	5	1st	1	Max. 25m2	25	38.54	9
	6	1st	1		25	36	8.18
	7	1st	1		25	36.16	8.02
	8	1st	1		25	36	8.02
	Control		Requirement		Proposed		
BUILDING HEIGHT	Housing SEPP		9m		7.64m		
LOT SIZE	Housing SEPP		600sqm		741.11sqm		
FSR	Campbelltown LEP		0.55:1		0.55		
PARKING	Housing SEPP	Accessible	8 x 0.2 = 1.6 car spaces		2 spaces		
MOTORCYCLE & BICYCLE PARKING	Housing SEPP		Adequate bicycle and motorcycle parking spaces.		4 bicycle spaces		
			(Bicycle: Apply the rates for an RFB under the Campbelltown DCP which is 1 space per 5 units.  Motorbike: 1 space per 5 rooms)		2 motorbike spaces		
SETBACKS	Campbelltown Sustainable City DCP Vol. 1 (Boarding houses s.17.2.3)	Front Setback	5.5m (Note: Min 4m required for MDH under DCP)		3.91m		
		Side Setback	0.9m (ground) 1.5m (above ground level) (Note: Min 0.9m required for MDH under DCP)		1.5m		
		Rear Setback	5m (ground) 10m (above ground level) (note: Min 4m ground floor and 6m upper floor required for MDH under DCP)		4m		
COMMUNAL LIVING AREA	Housing SEPP		34m2 (min. 30m2 + 2m2 per room > 6 rooms, min. dimension 3m)		34.11sqm		
COMMUNAL OPEN SPACE	Housing SEPP		(min. 20% of site area, min. dim. 3m) (148.22sqm)		152.76sqm (20.61%)		
DEEP SOIL	Housing SEPP (Part 2, Division 2, clause 24(2))		15% of site area (111.17sqm)		152.13 (20.53%)		
LANDSCAPED AREA	Housing SEPP (Part 2, Division 2, clause 24(2))		< 30% of the area forward of building line surfaced with impervious materials		(28%) impervious materials		
SOLAR ACCESS	HOUSING SEPP		3 hours between 9am & 3 pm 21 June to a communal living area		COMPLIES		
	LAHC dwelling requirements		70% of units must receive 3 hours solar access to living areas and private open space in mid-winter		62.5% of units achieve 3hrs solar access		





- KEY
- SEWAGE
  - STORMWATER LINE
  - SITE BOUNDARY
  - SITE SETBACK
  - PEDESTRIAN MOVEMENT
  - NOISE SOURCE
  - BREEZE DIRECTION
  - GREATEST SOLAR HEAT GAIN
  - TREE: EXISTING TO BE RETAINED
  - CONTOURS
  - TREE: EXISTING TO BE REMOVED
  - PEDESTRIAN ACCESS
  - VEHICLE ACCESS
  - ACTIVE STREET FRONTAGE
  - TREE TPZ



ZONING THARAWAL  
ABORIGINAL  
CORPORATION

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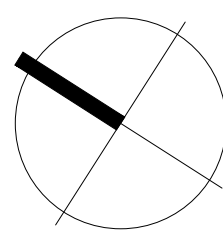
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05	22.05.18	REVISED DA ISSUE
04	22.04.13	DA ISSUE
03	22.04.05	CONSULTANT ISSUE
02	22.04.05	CONSULTANT ISSUE
01	22.04.05	CONSULTANT ISSUE



CLIENT  
NSW LAHC  
LOCKED BAG 5022  
PARRAMATTA NSW 2124  
PHONE: 1800 738 718

PROJECT  
BOARDING HOUSING  
DEVELOPMENT  
LOT: 1216 / DP:1183302  
189 RIVERSIDE DR, AIRDS, NSW 2560

TITLE  
SITE ANALYSIS  
PLAN



SCALE  
1:100 @ A1/1:200 @ A3  
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CHECKED  
DATE  
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STATUS  
DA

PROJECT NUMBER  
DRAWING NUMBER  
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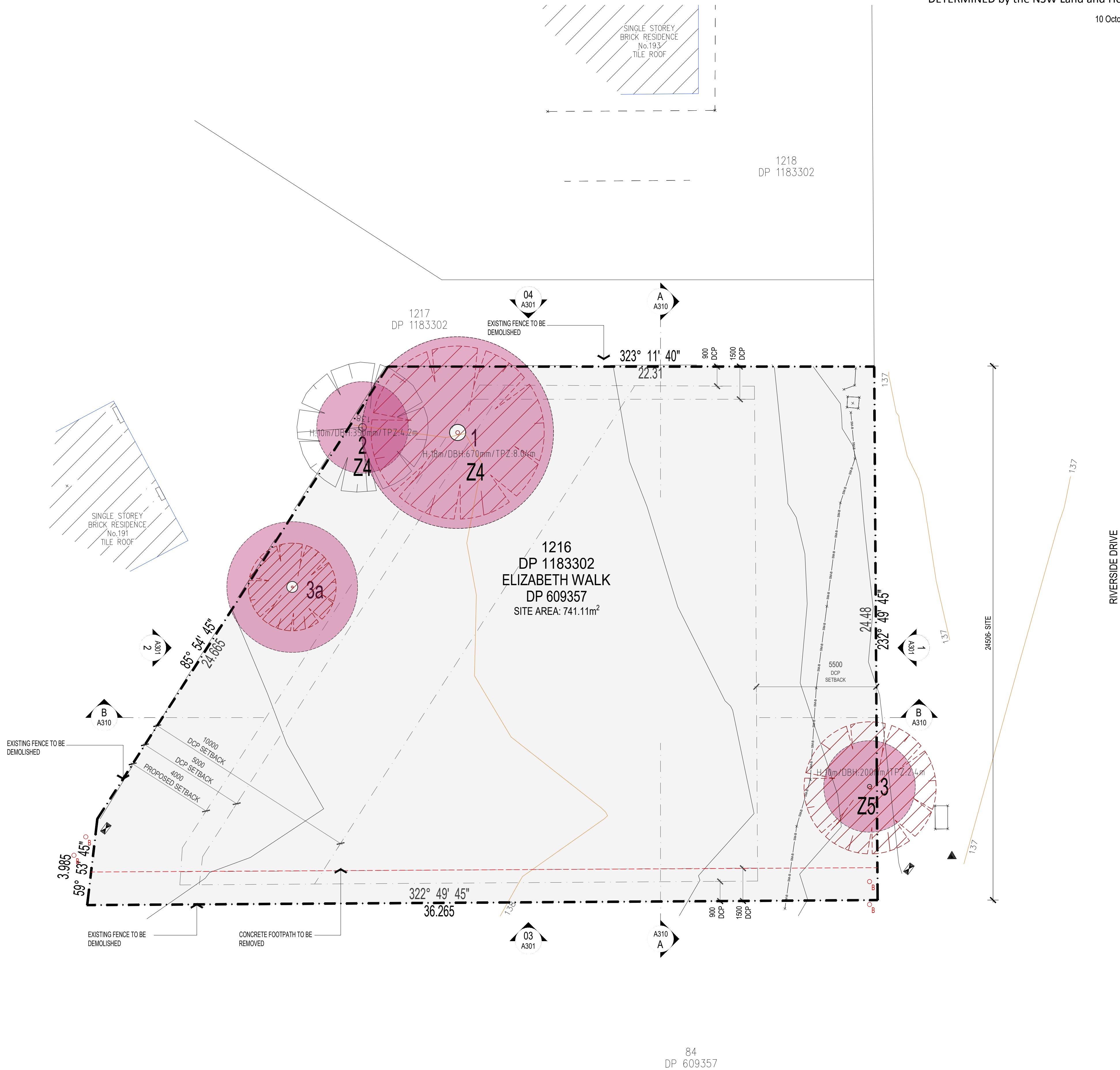
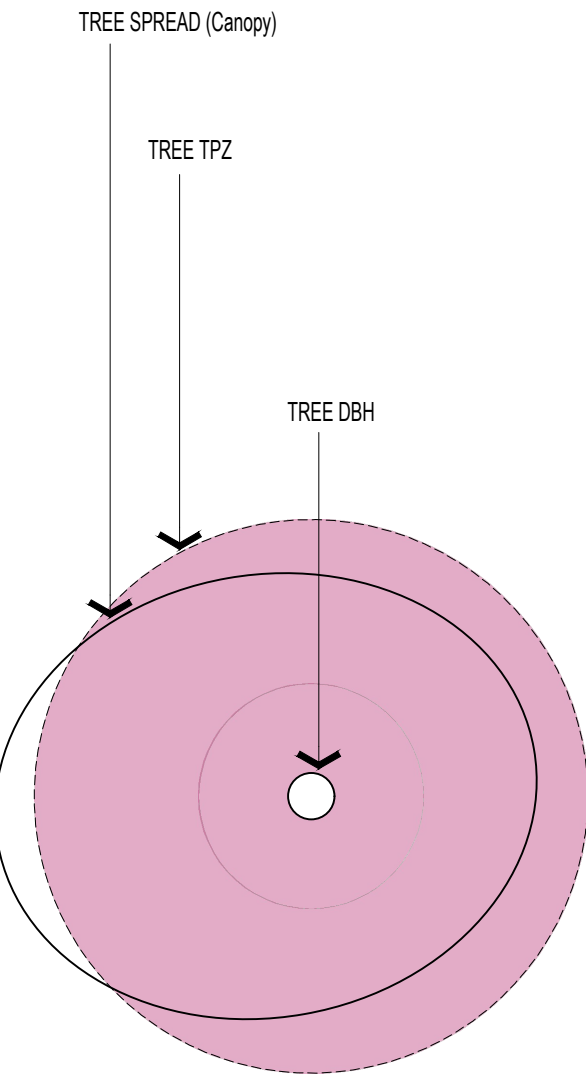




LEGEND - TREE



LEGEND



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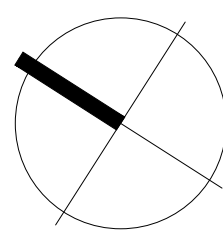
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03	22.05.18	REVISED DA ISSUE
02	22.04.13	DA ISSUE
01	22.04.05	CONSULTANT ISSUE
ISSUE	DATE	AMENDMENTS



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PARRAMATTA NSW 2124  
PHONE: 1800 738 718

PROJECT  
**BOARDING HOUSING DEVELOPMENT**  
LOT: 1216 / DP:1183302  
189 RIVERSIDE DR, AIRDS, NSW 2560

TITLE  
**DEMOLITION/TREE REMOVAL PLAN**



SCALE  
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DATE  
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20035

A003

ISSUE

07





NOTES:

DEEP SOIL AREAS

COS AREAS



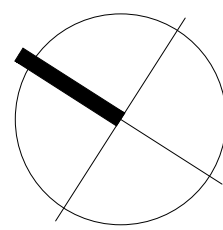
DEVELOPMENT DATA			
Job Reference	BGWW7		
Locality / Suburb	Airds		
Street Address	189 Riverside Drive / Elizabeth Walk		
Lot Number(s) & Deposited Plan	1216 (D.P.1183302) / Elizabeth Walk (D.P.609357)		
SITE AREA PROPOSED (sqm)	741.11		
DEEP SOIL CALCULATION		ZONE	AREA (m2)
		1	26.46
		2	54.66
		3	20.11
		4	17.49
		5	33.41
		TOTAL	152.13
		Control	Requirement Proposed
DEEP SOIL	Housing SEPP (Part 2, Division 2, clause 24(2))	15% of site area (111.17sqm)	152.13 (20.53%)

COMMON OPEN SPACE

- 26.46 m2
- 87.78 m2
- 38.52 m2

TOTAL: 152.76 m2  
20.61%

09	23.03.09	DA ISSUE
08	23.02.23	DA ISSUE
07	22.12.21	DA ISSUE
06	22.11.16	DA ISSUE
ISSUE	DATE	AMENDMENTS





NOTES:

1. BASED ON SITE SURVEY PREPARED BY TOTAL SURVEYING SOLUTIONS

LEGEND - KEY

 EXISTING STEEL BOLLARD TO BE DEMOLISH



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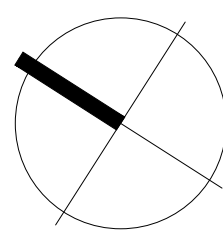
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03	22.05.18	REVISED DA ISSUE
02	22.04.13	DA ISSUE
01	22.03.28	CONSULTANT ISSUE
ISSUE	DATE	AMENDMENTS



CLIENT  
**NSW LAHC**  
LOCKED BAG 5022  
  
PARRAMATTA NSW 2124  
PHONE: 1800 738 718

PROJECT  
**BOARDING HOUSING DEVELOPMENT**  
LOT: 1216 / DP:1183302  
189 RIVERSIDE DR, AIRDS, NSW 2560

EXISTING SITE SURVEY



SCALE 1:100 @ A1 / 1:200 @ A3  
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DATE OCT 2020  
STATUS DA

PROJECT NUMBER 20035  
DRAWING NUMBER

**A100**

ISSUE

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LEGEND - TREE

- TREE: EXISTING TO BE REMOVED
- TREE: EXISTING TO BE RETAINED
- PRIVATE OPEN SPACE (LANDSCAPED)
- LANDSCAPE
- COMMUNAL OPEN SPACE
- CARPARK
- PATHWAY



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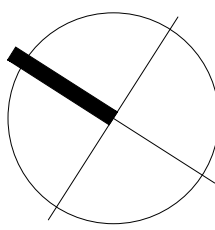
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03	22.05.18	REVISED DA ISSUE
02	22.04.13	DA ISSUE
01	22.03.28	CONSULTANT ISSUE
ISSUE	DATE	AMENDMENTS



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**NSW LAHC**  
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PARRAMATTA NSW 2124  
PHONE: 1800 738 718

PROJECT  
**BOARDING HOUSING  
DEVELOPMENT**  
LOT: 1216 / DP:1183302  
189 RIVERSIDE DR, AIRDS, NSW 2560

TITLE  
**SITE PLAN**



SCALE  
1:100 @ A1/ 1:200 @ A3

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DATE  
STATUS

CHECKED  
OCT 2020  
DA

PROJECT NUMBER  
DRAWING NUMBER

20035

A101

08

ISSUE





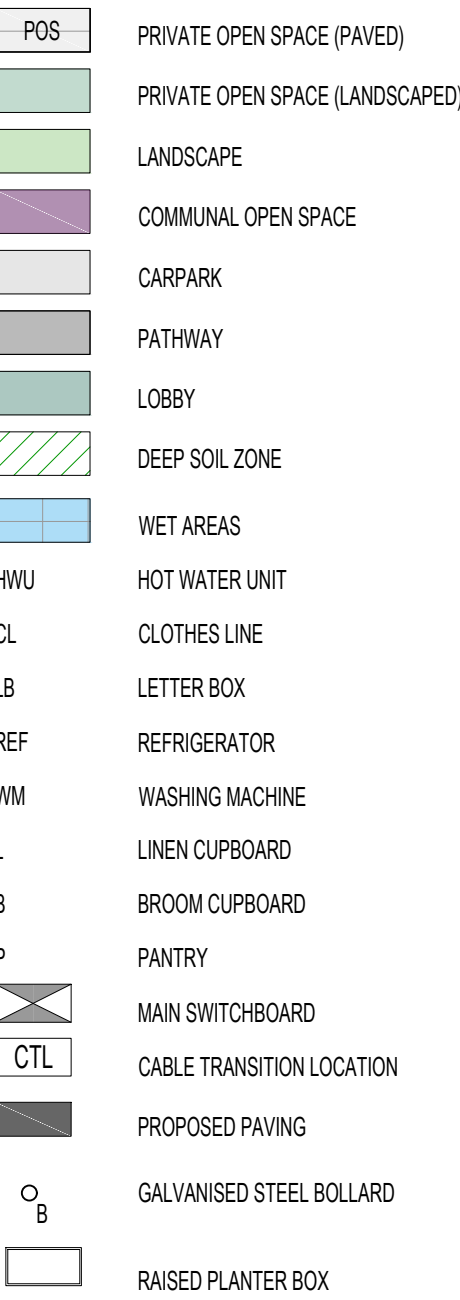


LEGEND - TREE



\*REFER TO ARBORIST REPORT FOR TREE ASSESSMENT  
DETAILS PREPARED BY ANDERSON ENVIRONMENTAL

LEGEND



NOTES: BUSHFIRE PROTECTION  
ASSESSMENT

REFER TO BUSHFIRE PROTECTION ASSESSMENT, DATE:  
15/12/22 - FILE: 20PIE07

- RECOMMENDATION 1 - THE DEVELOPMENT IS AS GENERALLY INDICATED ON THE ATTACHED SCHEDULE
- 1 - PLAN OF BUSHFIRE PROTECTION MEASURES .
- RECOMMENDATION 2 - APZS ARE TO BE PROVIDED TO THE PROPOSED DEVELOPMENT AS OUTLINED IN TABLE 2.2 AND AS GENERALLY DEPICTED WITHIN SCHEDULE 1.
- RECOMMENDATION 3 - ACCESS IS TO COMPLY WITH THE ACCEPTABLE SOLUTIONS OUTLINED IN SECTION 5.3.2 OF PLANNING FOR BUSH FIRE PROTECTION 2019.
- RECOMMENDATION 4 - BUILDING CONSTRUCTION STANDARDS FOR THE PROPOSED FUTURE DWELLINGS WITHIN 100M OF BUSHFIRE PRONE LAND ARE TO BE APPLIED IN ACCORDANCE WITH AS3899 CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS (2018), AND PLANNING FOR BUSH FIRE PROTECTION 2019. THE RECOMMENDED CONSTRUCTION STANDARD IS MINIMUM BAL 12.5.
- RECOMMENDATION 5 - WATER, ELECTRICITY AND GAS SUPPLY IS TO COMPLY WITH SECTION 5.3.3 OF PLANNING FOR BUSH FIRE PROTECTION 2019.
- RECOMMENDATION 6 - FENCING IS TO COMPLY WITH SECTION 7.6 OF PBP. ALL FENCES IN BUSH FIRE PRONE AREAS SHOULD BE MADE OF EITHER HARDWOOD OR NON-COMBUSTIBLE MATERIAL. HOWEVER, IN CIRCUMSTANCES WHERE THE FENCE IS WITHIN 6M OF A BUILDING OR IN AREAS OF BAL 29 OR GREATER, THEY SHOULD BE MADE OF NON-COMBUSTIBLE MATERIAL ONLY.



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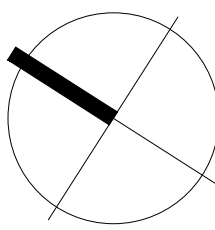
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14	22.12.07	DA ISSUE
13	22.11.16	DA ISSUE



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**NSW LAHC**  
LOCKED BAG 5022  
  
PARRAMATTA NSW 2124  
PHONE: 1800 738 718

PROJECT  
**BOARDING HOUSING  
DEVELOPMENT**  
LOT: 1216 / DP:1183302  
189 RIVERSIDE DR, AIRDS, NSW 2560

TITLE  
**GROUND FLOOR PLAN**



SCALE  
1:100 @ A1/ 1:200 @ A3

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CHECKED  
DATE  
STATUS

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OCT 2020  
DA

PROJECT NUMBER  
DRAWING NUMBER

20035

A200

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16





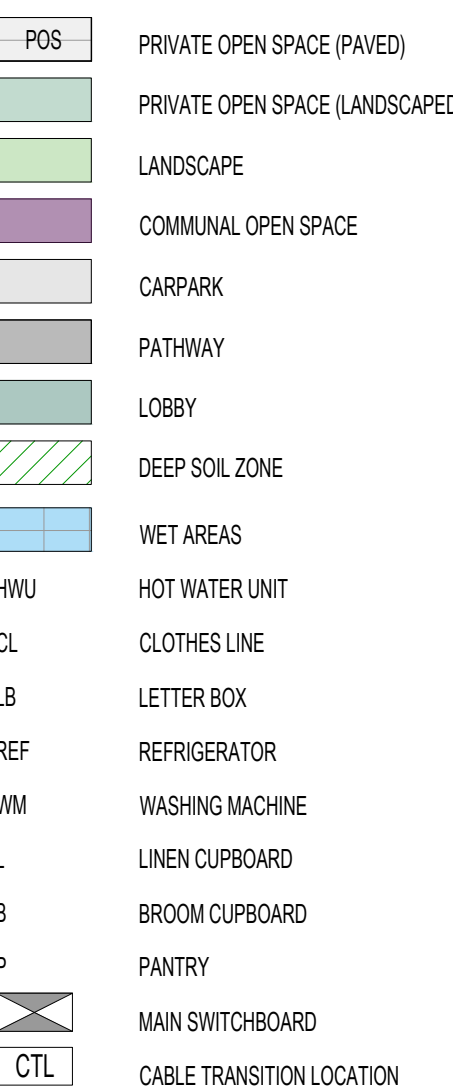
10 October 2023

LEGEND - TREE



\*REFER TO ARBORIST REPORT FOR TREE ASSESSMENT  
DETAILS PREPARED BY ANDERSON ENVIRONMENTAL

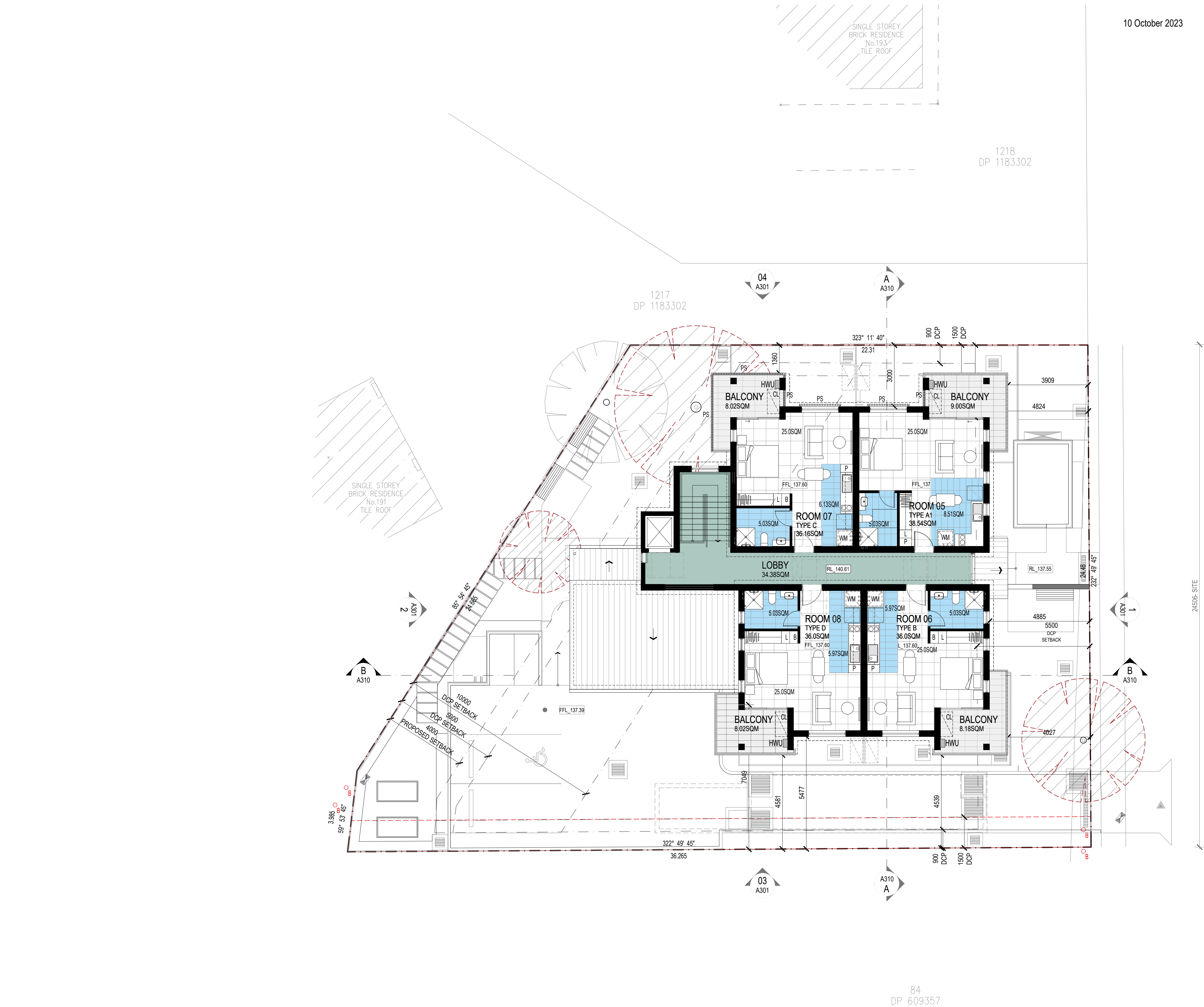
LEGEND



NOTES: BUSHFIRE PROTECTION  
ASSESSMENT

REFER TO BUSHFIRE PROTECTION ASSESSMENT, DATE:  
15/12/22 - FILE: 20PIE07

-RECOMMENDATION 1 - THE DEVELOPMENT IS AS GENERALLY  
INDICATED ON THE ATTACHED SCHEDULE.  
1 - PLAN OF BUSHFIRE PROTECTION MEASURES.  
-RECOMMENDATION 2 - APZS ARE TO BE PROVIDED TO THE  
PROPOSED DEVELOPMENT AS OUTLINED IN  
TABLE 2-2 AND AS GENERALLY DEPICTED WITHIN SCHEDULE 1.  
-RECOMMENDATION 3 - ACCESS IS TO COMPLY WITH THE  
ACCEPTABLE SOLUTIONS OUTLINED IN SECTION  
5.3.2 OF PLANNING FOR BUSH FIRE PROTECTION 2019.  
-RECOMMENDATION 4 - BUILDING CONSTRUCTION  
STANDARDS FOR THE PROPOSED FUTURE DWELLINGS WITHIN  
100M OF BUSHFIRE PRONE LAND ARE TO BE APPLIED IN  
ACCORDANCE WITH ASS3559 CONSTRUCTION OF  
BUILDINGS IN BUSHFIRE PRONE AREAS (2018), AND PLANNING  
FOR BUSH FIRE PROTECTION 2019. THE RECOMMENDED  
CONSTRUCTION STANDARD IS MINIMUM BAL 12.5.  
-RECOMMENDATION 5 - WATER, ELECTRICITY AND GAS  
SUPPLY IS TO COMPLY WITH SECTION 5.3.3 OF  
PLANNING FOR BUSH FIRE PROTECTION 2019.  
-RECOMMENDATION 6 - FENCING IS TO COMPLY WITH  
SECTION 7.6 OF PBP. ALL FENCES IN BUSH FIRE  
PRONE AREAS SHOULD BE MADE OF EITHER HARDWOOD OR  
NON-COMBUSTIBLE MATERIAL. HOWEVER, IN  
CIRCUMSTANCES WHERE THE FENCE IS WITHIN 9M OF A  
BUILDING OR IN AREAS OF BAL 28 OR GREATER, THEY  
SHOULD BE MADE OF NON-COMBUSTIBLE MATERIAL ONLY.



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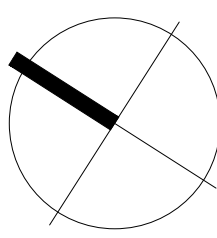
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03	22.06.27	CONSULTANT ISSUE
02	22.06.27	CONSULTANT ISSUE
01	22.06.27	CONSULTANT ISSUE



CLIENT  
**NSW LAHC**  
LOCKED BAG 5022  
PARRAMATTA NSW 2124  
PHONE: 1800 738 718

PROJECT  
**BOARDING HOUSING  
DEVELOPMENT**  
LOT: 1216 / DP:1183302  
189 RIVERSIDE DR, AIRDS, NSW 2560

TITLE  
**FIRST FLOOR PLAN**



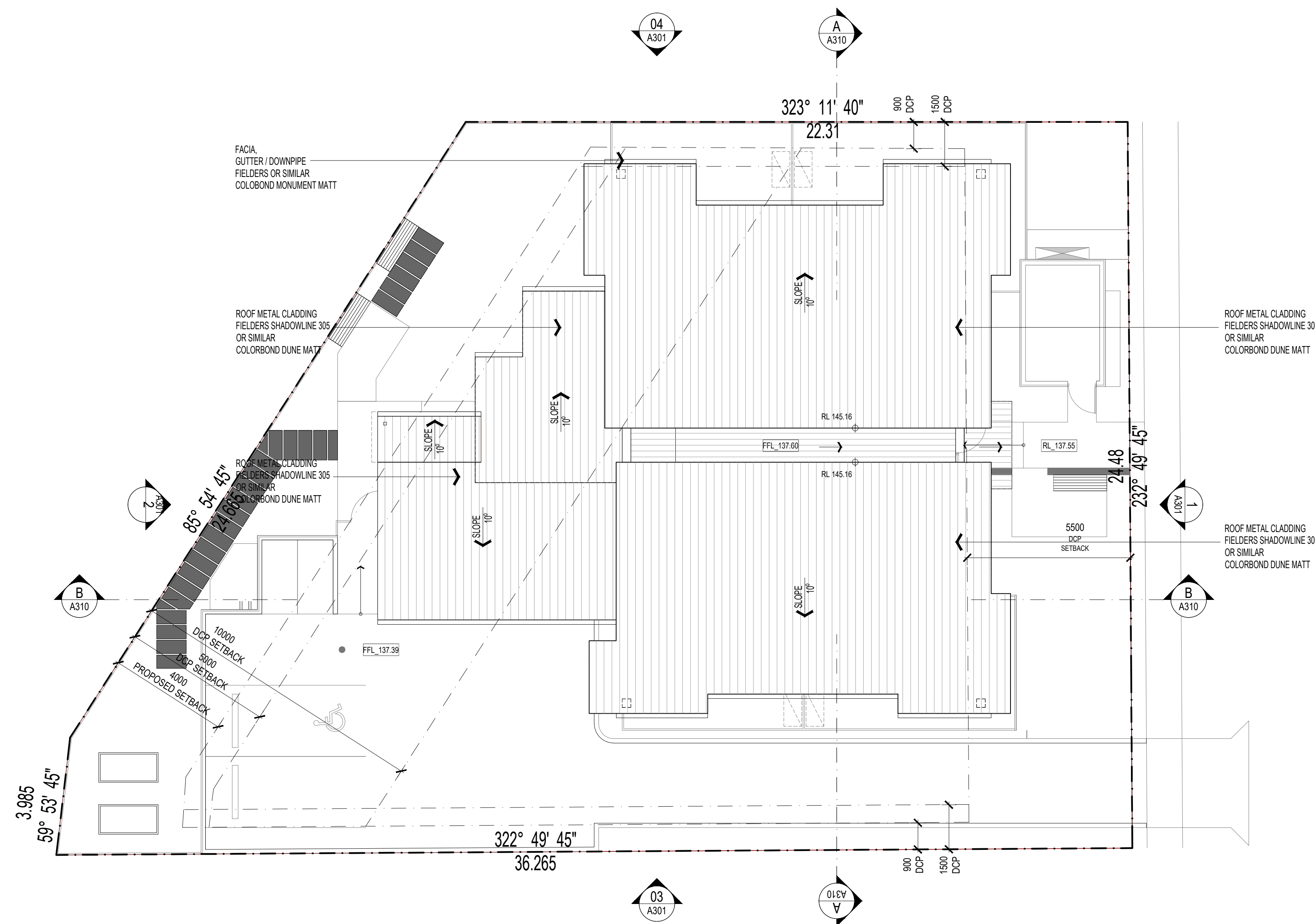
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**A201**

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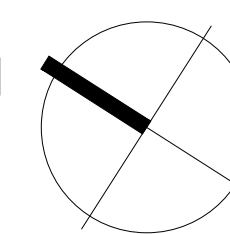
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06	22.07.25	REVISED DA ISSUE
05	22.06.27	CONSULTANT ISSUE
04	22.05.18	REVISED DA ISSUE
ISSUE	DATE	AMENDMENTS



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NSW LAHC  
LOCKED BAG 5022  
PARRAMATTA NSW 2124  
PHONE: 1800 738 718

PROJECT  
BOARDING HOUSING  
DEVELOPMENT  
LOT: 1216 / DP:1183302  
189 RIVERSIDE DR, AIRDS, NSW 2560

TITLE  
ROOF PLAN



SCALE 1:100 @ A1/ 1:200 @ A3

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CHECKED CHECKED

DATE OCT 2020

STATUS DA

PROJECT NUMBER 20035 DRAWING NUMBER A

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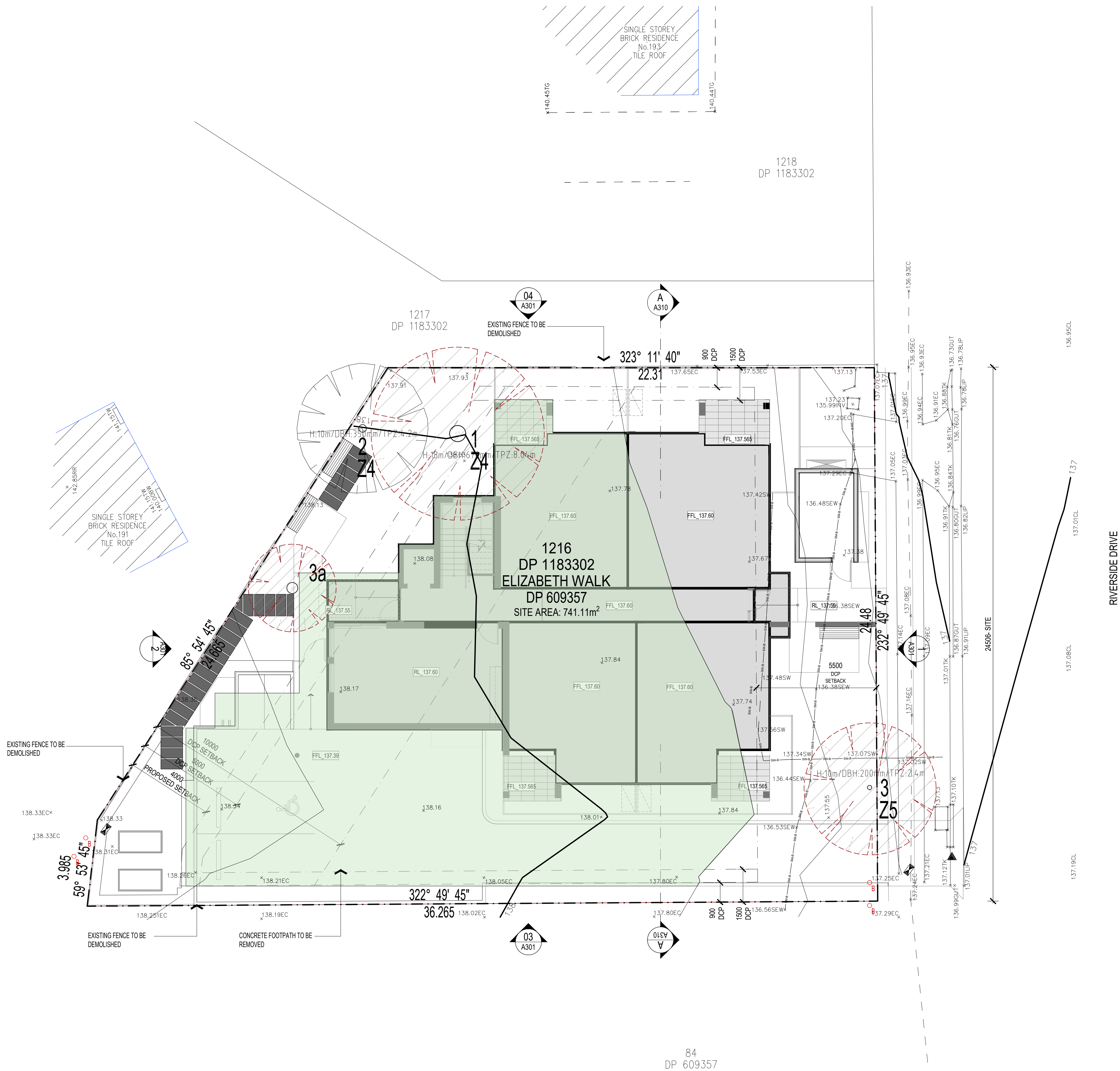






LEGEND

- EXISTING GROUNDLINE
- PROPOSED GROUNDLINE
- CUT
- FILL



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NORTH SYDNEY, NSW 2060 AUSTRALIA  
ABN 56 120 779 106  
NOMINATED ARCHITECTS:  
TONY GRAY 5303 & PAUL GODSELL 6726

P 02 9660 3644 www.crawford.com.au  
E arch@crawford.com.au

07	23.03.09	DA ISSUE
06	22.12.21	DA ISSUE
05	22.11.16	DA ISSUE
04	22.11.16	DA ISSUE
03	22.10.04	DA ISSUE
02	22.07.25	REVISED DA ISSUE
01	22.05.31	REVISED DA ISSUE
ISSUE	DATE	AMENDMENTS



CLIENT

NSW LAHC  
LOCKED BAG 5022

PARRAMATTA NSW 2124  
PHONE: 1800 738 718

PROJECT

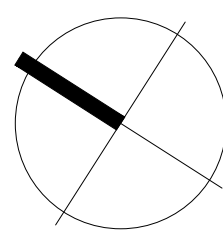
BOARDING HOUSING  
DEVELOPMENT

LOT: 1216 / DP:1183302

189 RIVERSIDE DR, AIRDS, NSW 2560

TITLE

CUT AND FILL PLAN



SCALE

1:100 @ A1 / 1:200 @ A3

APPROVED  
DRAWN  
CHECKED  
DATE  
STATUS

CHECKED  
OCT 2020  
DA

PROJECT NUMBER

20035

DRAWING NUMBER

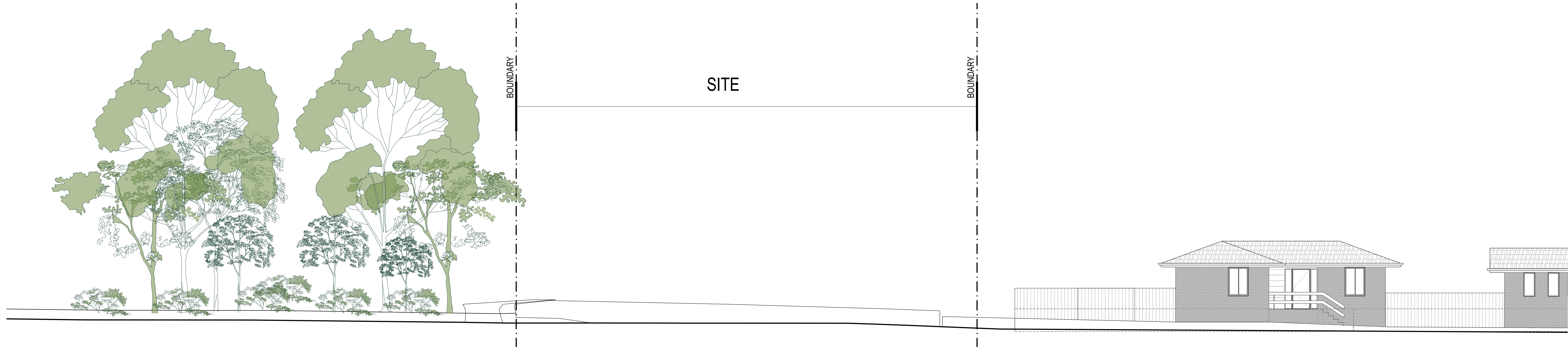
A203

ISSUE

07







01 EXISTING STREET VIEW: RIVERSIDE DRIVE



02 PROPOSED STREET VIEW: RIVERSIDE DRIVE

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ISSUE	DATE	AMENDMENTS
09	23.03.09	DA ISSUE
08	22.12.21	DA ISSUE
07	22.11.16	DA ISSUE
06	22.10.04	DA ISSUE



CLIENT  
**NSW LAHC**  
LOCKED BAG 5022  
  
PARRAMATTA NSW 2124  
PHONE: 1800 738 718

PROJECT  
**BOARDING HOUSING  
DEVELOPMENT**  
LOT: 1216 / DP:1183302  
189 RIVERSIDE DR, AIRDS, NSW 2560

TITLE  
**EXISTING AND PROPOSED  
STREET VIEWS**

SCALE 1:100 @ A1  
  
APPROVED  
DRAWN  
CHECKED  
DATE OCT 2020  
STATUS DA

PROJECT NUMBER 20035  
DRAWING NUMBER

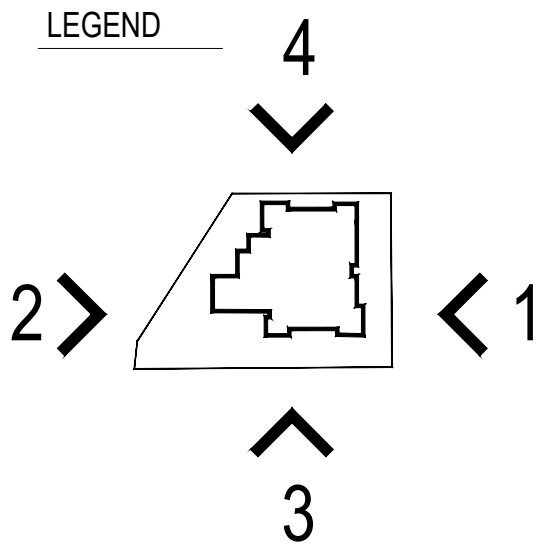
**A300**

ISSUE

**09** **crawford**  
architects







NOTES: NATHERS

1. ALL DOWNLIGHTS TO BE:
- a. APPROVED NON-VENTILATED.
  - b. WITH FIRE-RATED COVER/SHIELD TO ALLOW CONTINUOUS INSULATION DEL TYPE. IF HALOGEN LIGHT ARE TO BE INSTALLED THIS CERTIFICATION IS NOT VALID.
2. ALL VENTS AND WALL OPENINGS INSTALLED TO BE "THE SEALED" TYPE.
3. ALL INSULATION IS TO BE INSTALLED IN ACCORDANCE NCC PART 3.12.1.1
- a. CREATION OF CONTINUOUS THERMAL BARRIER.
  - b. COMPLIANCE WITH AS4859.
  - c. MAINTAINING THICKNESS OF BULK INSULATION AND AIR GAPS FOR REFLECTIVE INSULATION.
4. BUILDING SEALING AS PER NCC PART 3.12.3
- a. WEATHER SEALS AND DRAFT EXCLUDERS
  - b. DRAFT STOPPER CAPS
5. SERVICES AS PER NCC PART 3.12.5
- a. INSULATION OF SERVICES, PIPING AND DUCTWORK

CEILING FANS HAVE BEEN NOMINATED WHEN PERFORMED THE NATHERS CALCULATIONS AND EACH CERTIFICATION HAS BEEN ISSUED ACCORDINGLY. ENSURE THAT INSTALLATIONS ARE CARRIED OUT.

NOTES: BUSHFIRE PROTECTION ASSESSMENT

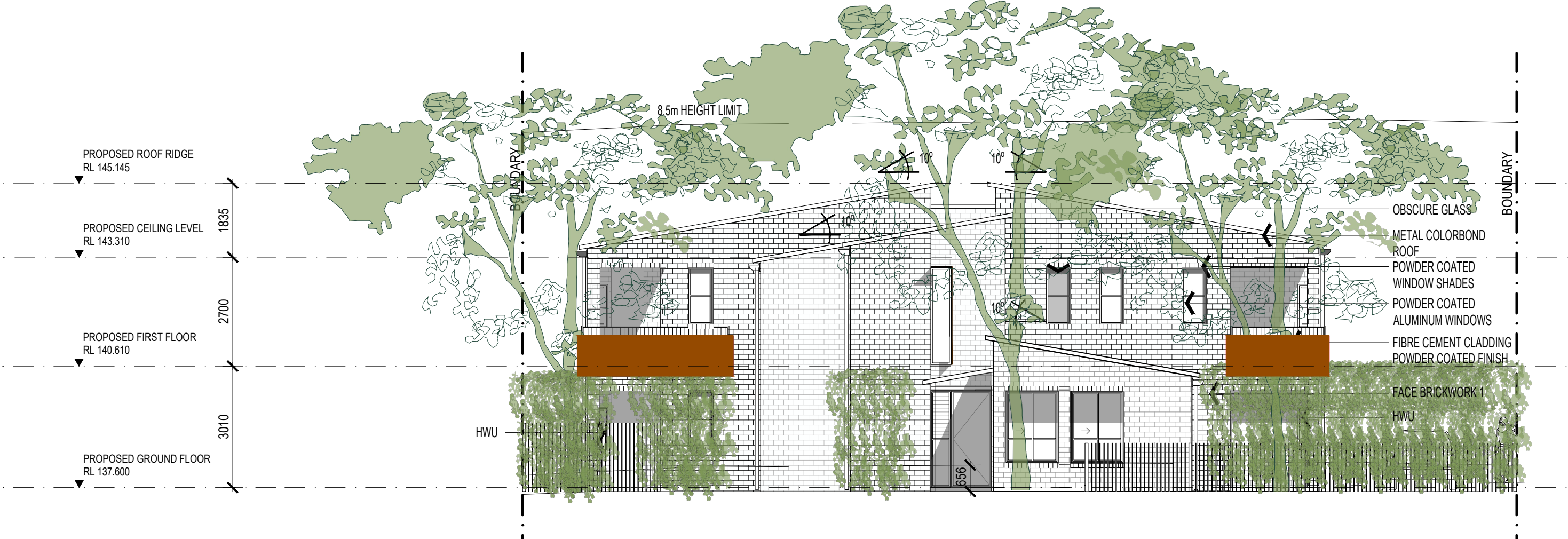
REFER TO BUSHFIRE PROTECTION ASSESSMENT, DATE: 15/12/22 - FILE: 20PIE07

- RECOMMENDATION 1 - THE DEVELOPMENT IS AS GENERALLY INDICATED ON THE ATTACHED SCHEDULE
- 1 - PLAN OF BUSHFIRE PROTECTION MEASURES.
- RECOMMENDATION 2 - APZS ARE TO BE PROVIDED TO THE PROPOSED DEVELOPMENT AS OUTLINED IN TABLE 2-2 AND AS GENERALLY DEPICTED WITHIN SCHEDULE 1.
- RECOMMENDATION 3 - ACCESS IS TO COMPLY WITH THE ACCEPTABLE SOLUTIONS OUTLINED IN SECTION 5.3.2 OF PLANNING FOR BUSH FIRE PROTECTION 2019.
- RECOMMENDATION 4 - BUILDING CONSTRUCTION STANDARDS FOR THE PROPOSED FUTURE DWELLINGS WITHIN 100M OF BUSHFIRE PRONE LAND ARE TO BE APPLIED IN ACCORDANCE WITH AS3959 CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS (2018), AND PLANNING FOR BUSH FIRE PROTECTION 2019. THE RECOMMENDED CONSTRUCTION STANDARD IS MINIMUM BAL 12.5.
- RECOMMENDATION 5 - WATER, ELECTRICITY AND GAS SUPPLY IS TO COMPLY WITH SECTION 5.3.3 OF PLANNING FOR BUSH FIRE PROTECTION 2019.
- RECOMMENDATION 6 - FENCING IS TO COMPLY WITH SECTION 7.6 OF PFP. ALL FENCES IN BUSH FIRE PRONE AREAS SHOULD BE MADE OF EITHER HARDWOOD OR NON-COMBUSTIBLE MATERIAL. HOWEVER, IN CIRCUMSTANCES WHERE THE FENCE IS WITHIN 6M OF A BUILDING OR IN AREAS OF BAL 29 OR GREATER, THEY SHOULD BE MADE OF NON-COMBUSTIBLE MATERIAL ONLY.

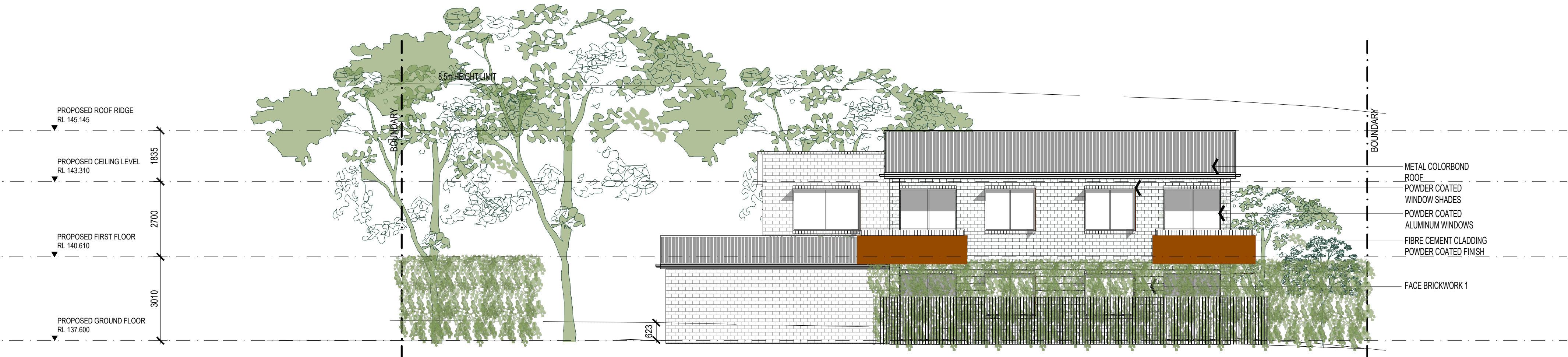
01 SOUTH ELEVATION - 1



02 NORTH ELEVATION - 2



03 WEST ELEVATION - 3



04 EAST ELEVATION - 4



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ISSUE	DATE	AMENDMENTS
12	23.03.09	DA ISSUE
11	22.12.21	DA ISSUE
10	22.12.07	DA ISSUE
09	22.11.16	DA ISSUE
08	22.10.04	DA ISSUE



CLIENT  
**NSW LAHC**  
LOCKED BAG 5022  
  
PARRAMATTA NSW 2124  
PHONE: 1800 738 718

PROJECT  
**BOARDING HOUSING DEVELOPMENT**  
LOT: 1216 / DP:1183302  
189 RIVERSIDE DR, AIRDS, NSW 2560

TITLE  
**ELEVATIONS 1 - 4**

SCALE  
1:100 @ A1  
  
APPROVED  
DRAWN  
CHECKED  
DATE  
STATUS

PROJECT NUMBER  
DRAWING NUMBER

20035

A301

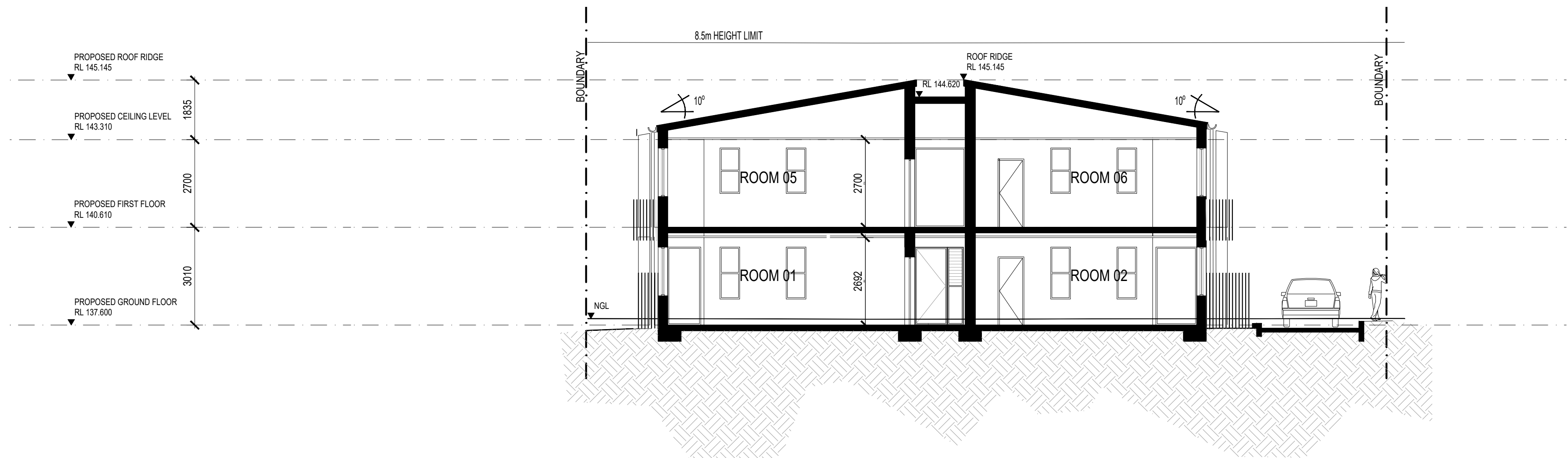
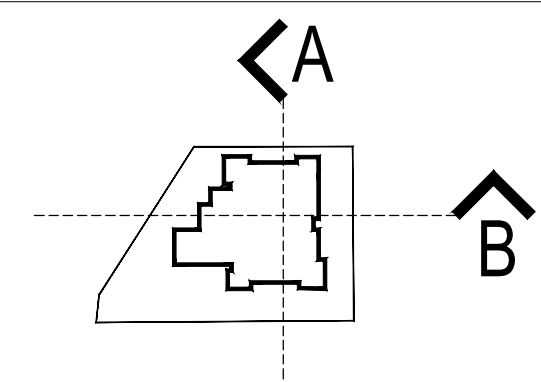
ISSUE

12 **crawford architects**

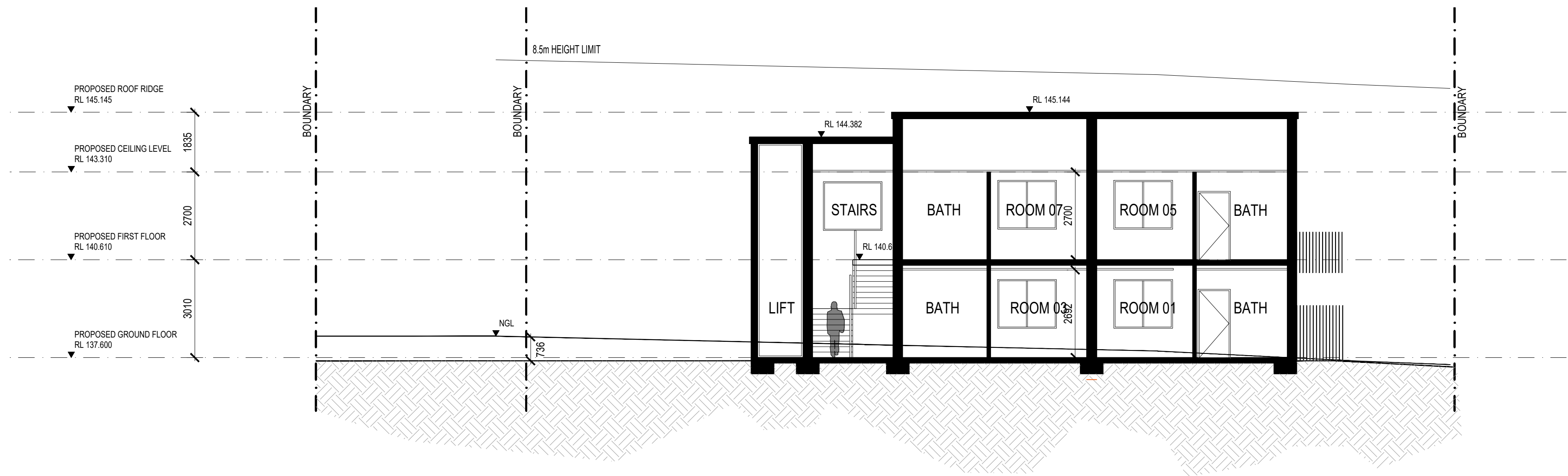




LEGEND



01 SECTION A-A



02 SECTION B-B

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08	23.03.09	DA ISSUE
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05	22.10.04	DA ISSUE
04	22.07.25	REVISED DA ISSUE
03	22.05.18	REVISED DA ISSUE
02	22.04.13	DA ISSUE
01	22.04.05	CONSULTANT ISSUE
ISSUE	DATE	AMENDMENTS



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PARRAMATTA NSW 2124  
PHONE: 1800 738 718

PROJECT  
**BOARDING HOUSING  
DEVELOPMENT**  
LOT: 1216 / DP:1183302  
189 RIVERSIDE DR, AIRDS, NSW 2560

TITLE  
**SECTIONS A & B**

SCALE  
1:100 @ A1  
  
APPROVED  
DRAWN  
CHECKED  
DATE  
STATUS

JC  
CHECKED  
OCT 2020  
DA

PROJECT NUMBER  
DRAWING NUMBER

20035

A310

ISSUE

08







01 3D VIEW 01

EXTERNAL FINISHES

ELEMENTS	MATERIALS	CODE	FINISHES / COLOUR / MANUFACTURER	
ROOF	METAL CLADDING	MC-1	FIELDERS SHADOWLINE 305 OR SIMILAR COLORBOND COLOUR: DUNE MATT	
FACIA, GUTTER / DOWNPIPE	METAL CLADDING	MC-2	FIELDERS OR SIMILAR  COLORBOND COLOUR: MONUMENT MATT	
WALLS	BRICK	BF-1	AUSTRAL BRICKS - NUBRIK ARTISAN - AURORA OR SIMILAR	
	BRICK	BF-2	AUSTRAL BRICKS - METALLIX - BLACKSTONE OR SIMILAR	
	RENDER	CF-1	DULUX COLOUR: TERRAIN	
WINDOW AND DOORS	ALUMINIUM FRAME WITH STANDARD LAMINATED GLASS TO BCA & BASIX	AF-1	COLORBOND COLOUR: MONUMENT MATT	
FENCING	STEEL FENCING	FF-1	COLORBOND FENCING COLOUR : DUNE	
WINDOW SHADES AND AWNING	ALUMINIUM AWNING	SF-1	HEKA HOODS CORE SERIES COLORBOND COLOUR : TERRAIN	
WINDOW SHADES AND AWNING	FIBRE CEMENT CLADDING	FC-1	POWDER COATED FINISH COLORBOND COLOUR : TERRAIN	

NOTES: BUSHFIRE PROTECTION  
ASSESSMENT

REFER TO BUSHFIRE PROTECTION ASSESSMENT, DATE:  
15/12/22 - FILE: 20PIE07

- RECOMMENDATION 1 - THE DEVELOPMENT IS AS GENERALLY  
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- RECOMMENDATION 3 - ACCESS IS TO COMPLY WITH THE  
ACCEPTABLE SOLUTIONS OUTLINED IN SECTION  
5.3.2 OF PLANNING FOR BUSH FIRE PROTECTION 2019.  
- RECOMMENDATION 4 - BUILDING CONSTRUCTION  
STANDARDS FOR THE PROPOSED FUTURE DWELLINGS WITHIN  
100M OF BUSHFIRE PRONE LAND ARE TO BE APPLIED IN  
ACCORDANCE WITH AS3959 CONSTRUCTION OF  
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FOR BUSH FIRE PROTECTION 2019. THE RECOMMENDED  
CONSTRUCTION STANDARD IS MINIMUM BAL 12.5.  
- RECOMMENDATION 5 - WATER, ELECTRICITY AND GAS  
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SECTION 7.6 OF PBP. ALL FENCES IN BUSH FIRE  
PRONE AREAS SHOULD BE MADE OF EITHER HARDWOOD OR  
NON-COMBUSTIBLE MATERIAL. HOWEVER, IN  
CIRCUMSTANCES WHERE THE FENCE IS WITHIN 6M OF A  
BUILDING OR IN AREAS OF BAL 28 OR GREATER, THEY  
SHOULD BE MADE OF NON-COMBUSTIBLE MATERIAL ONLY.



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NOMINATED ARCHITECTS:  
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10	23.03.09	DA ISSUE
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08	22.12.07	DA ISSUE
07	22.11.16	DA ISSUE
06	22.10.04	DA ISSUE
05	22.07.25	REVISED DA ISSUE
ISSUE	DATE	AMENDMENTS



CLIENT  
**NSW LAHC**  
LOCKED BAG 5022

PARRAMATTA NSW 2124  
PHONE: 1800 738 718

PROJECT  
**BOARDING HOUSING  
DEVELOPMENT**  
LOT: 1216 / DP:1183302

189 RIVERSIDE DR, AIRDS, NSW 2560

TITLE  
**3D VIEWS  
& FINISHES SCHEDULE**

SCALE 1:100 @ A1

APPROVED  
DRAWN  
CHECKED  
DATE  
STATUS

PROJECT NUMBER  
DRAWING NUMBER

20035

A500

10

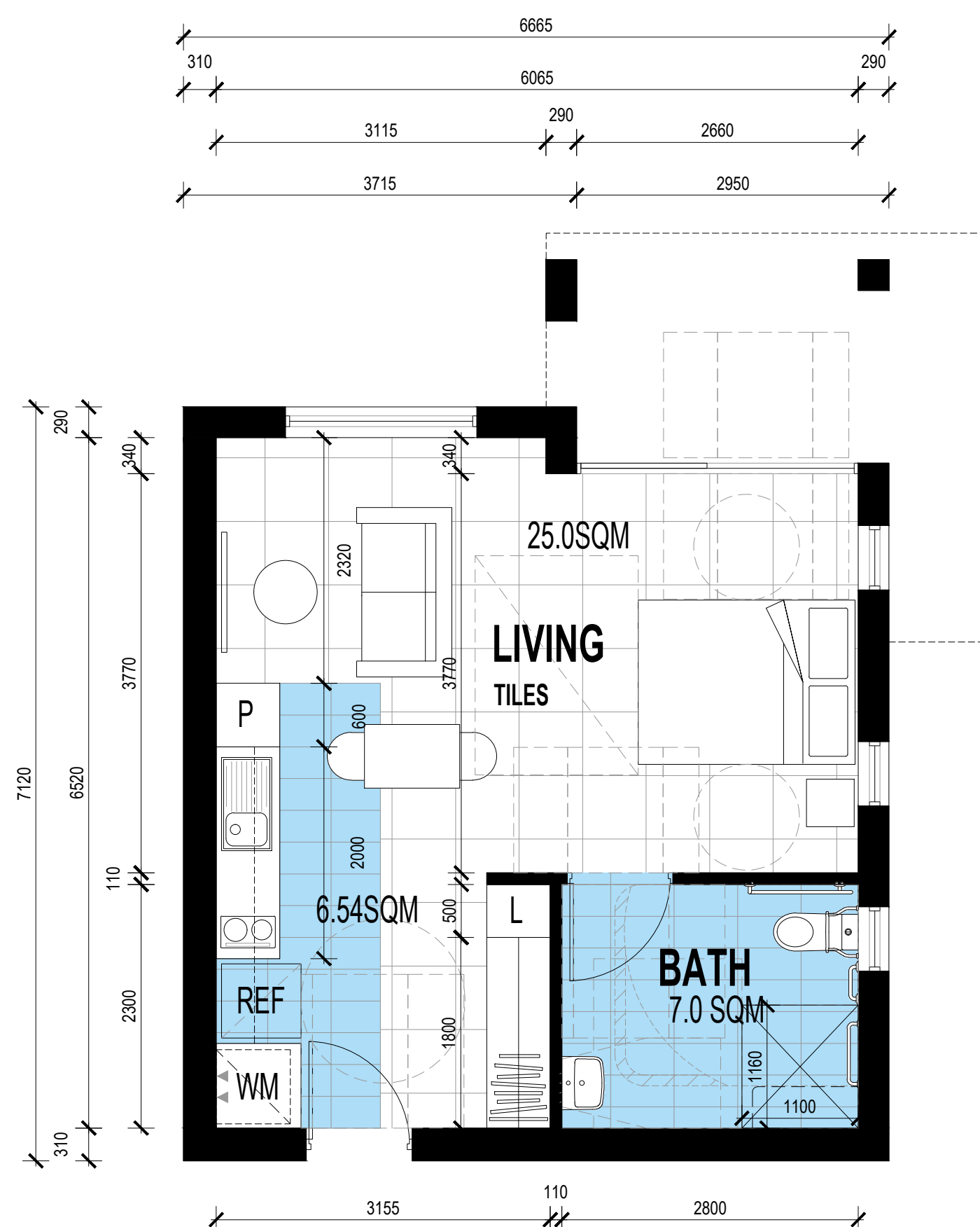
ISSUE



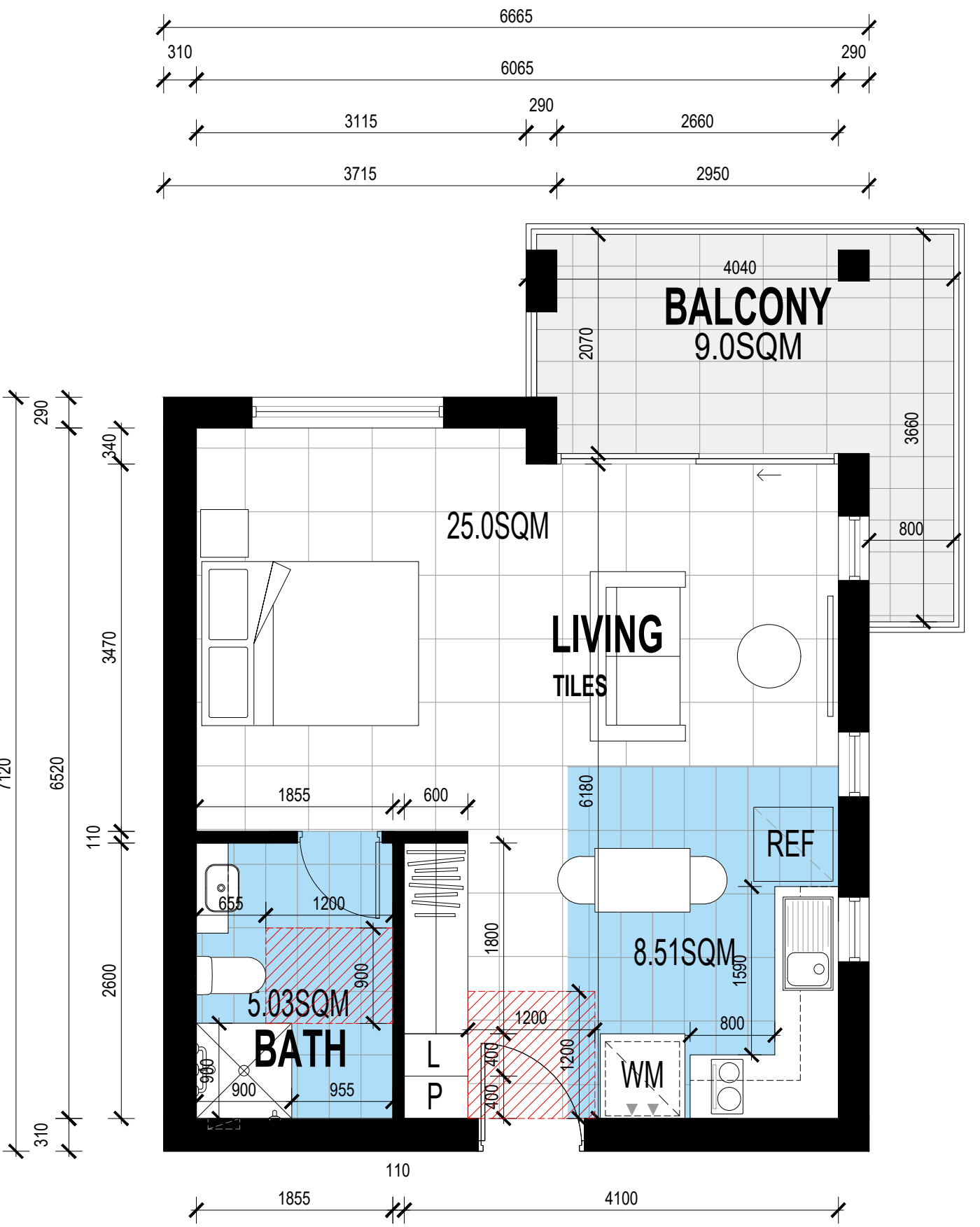


*Chish*

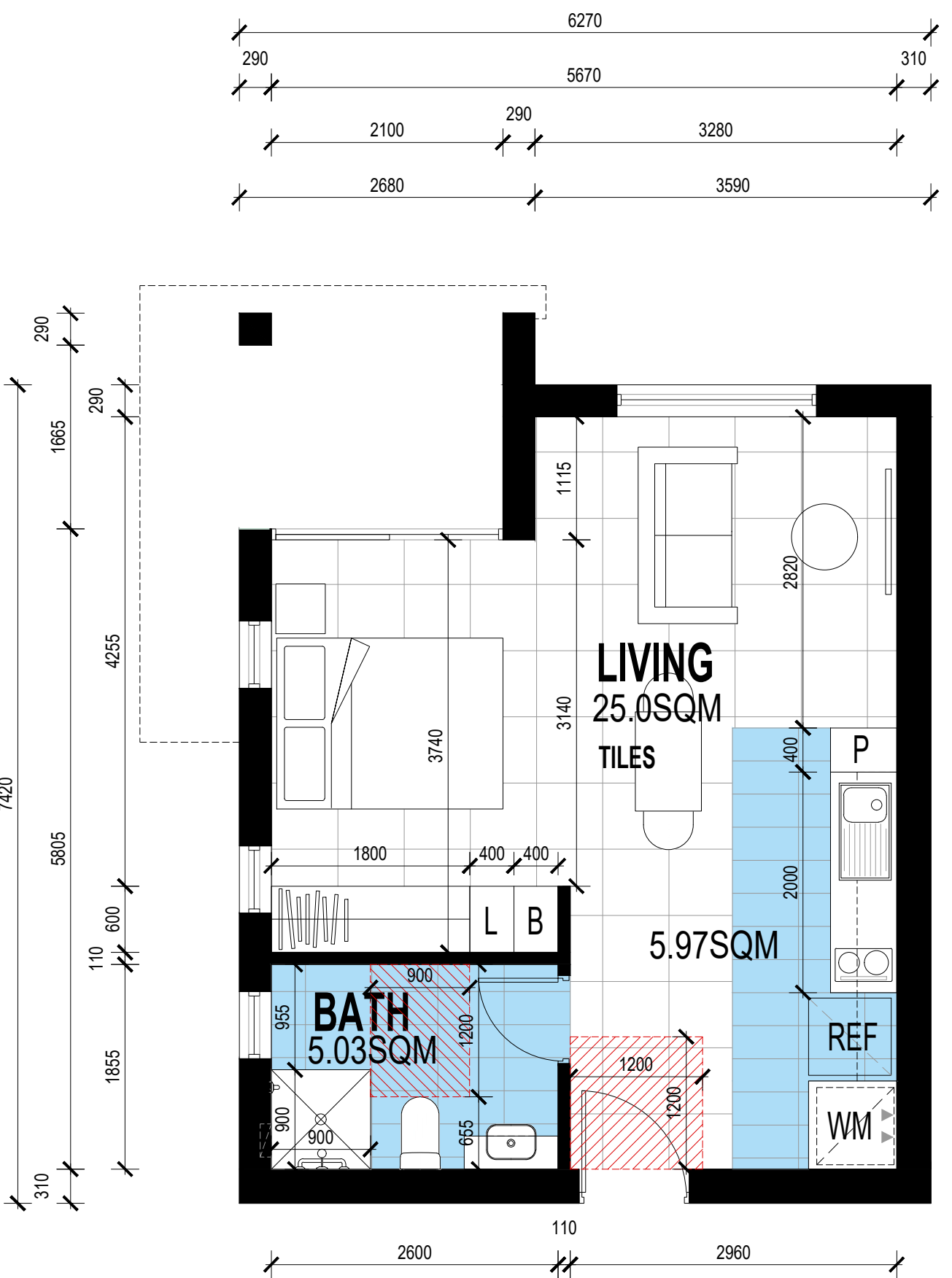
- LEGEND
- HWU HOT WATER UNIT
  - CL CLOTHES LINE
  - LB LETTER BOX
  - REF REFRIGERATOR
  - WM WASHING MACHINE
  - L LINEN CUPBOARD
  - B BROOM CUPBOARD
  - P PANTRY



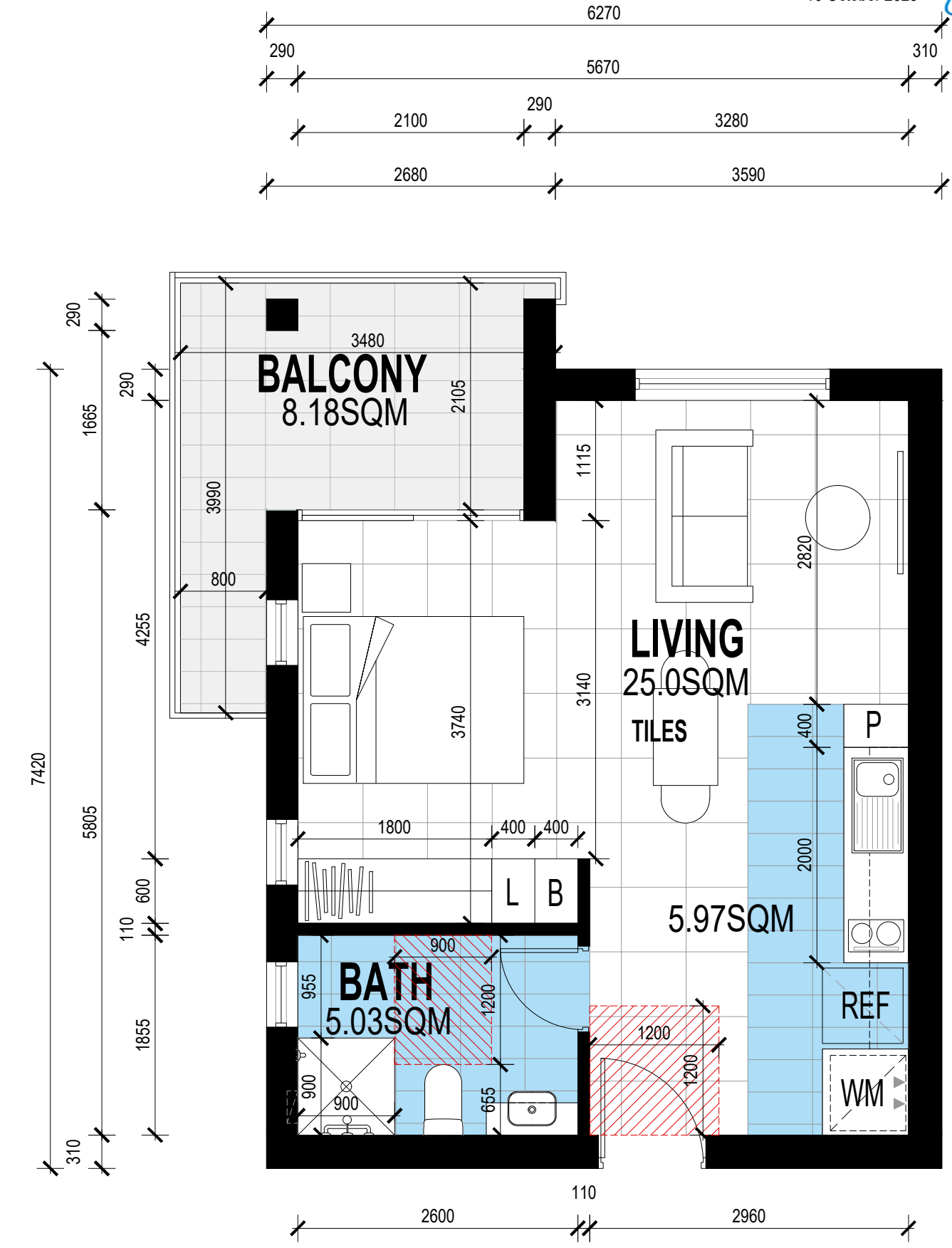
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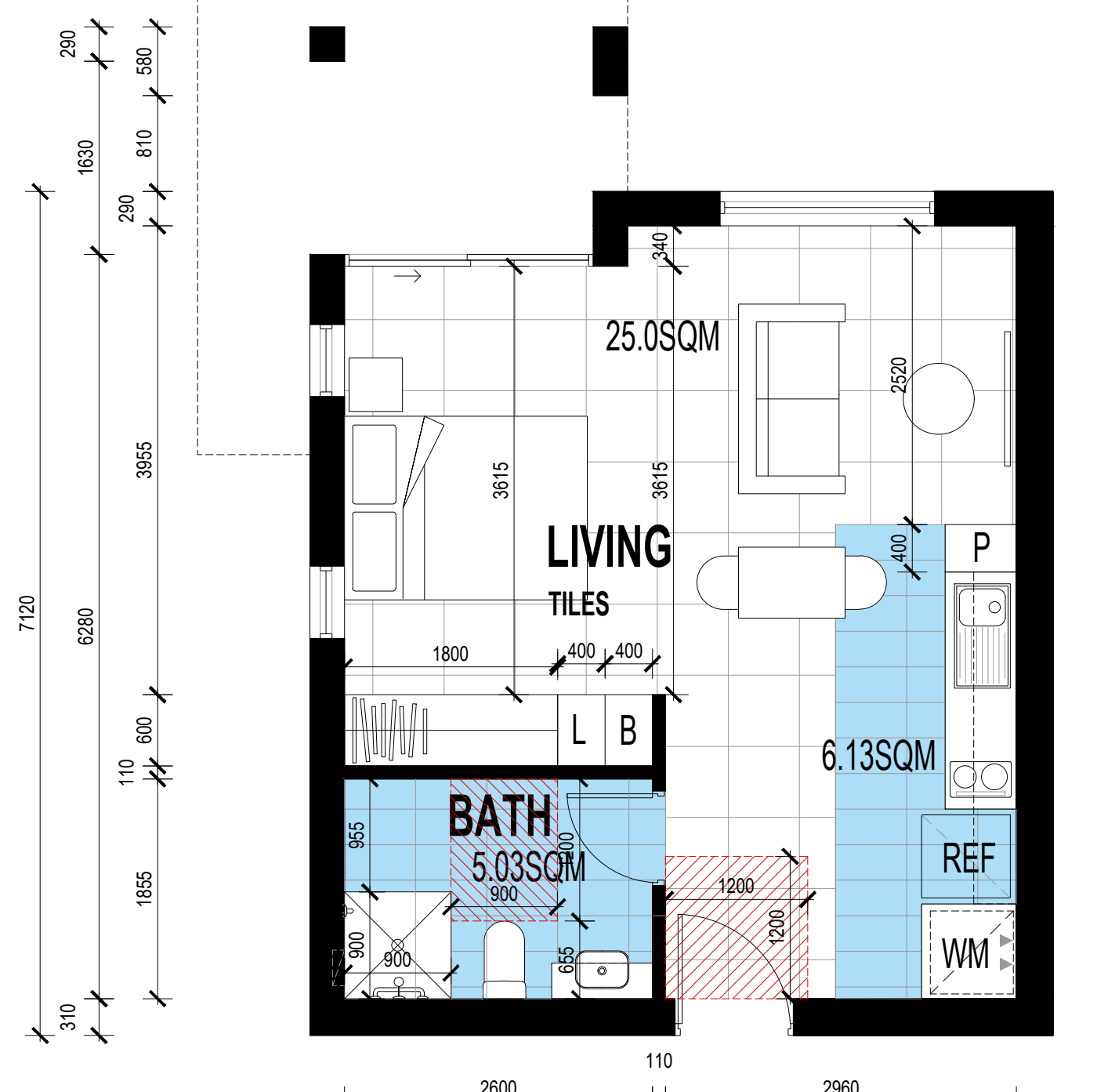
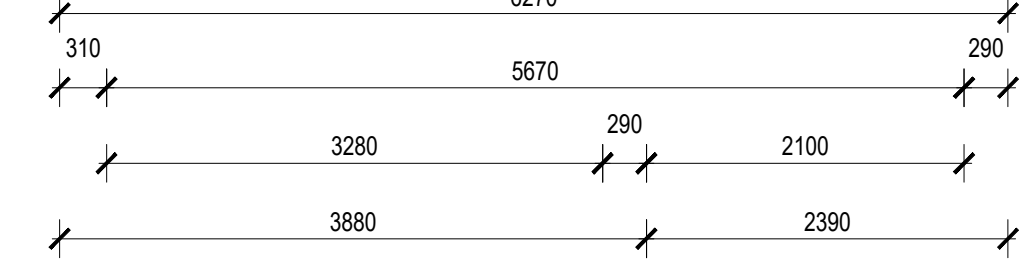
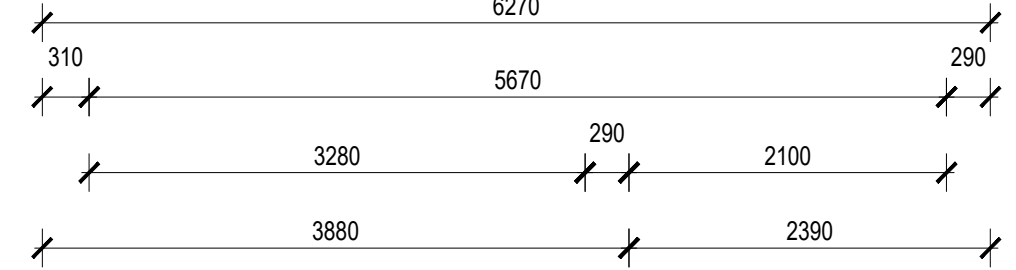
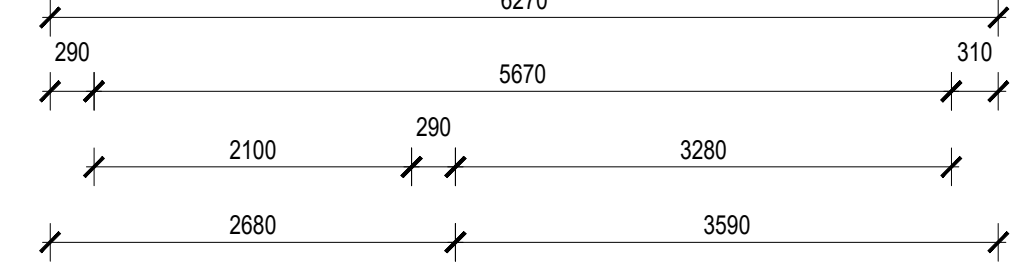
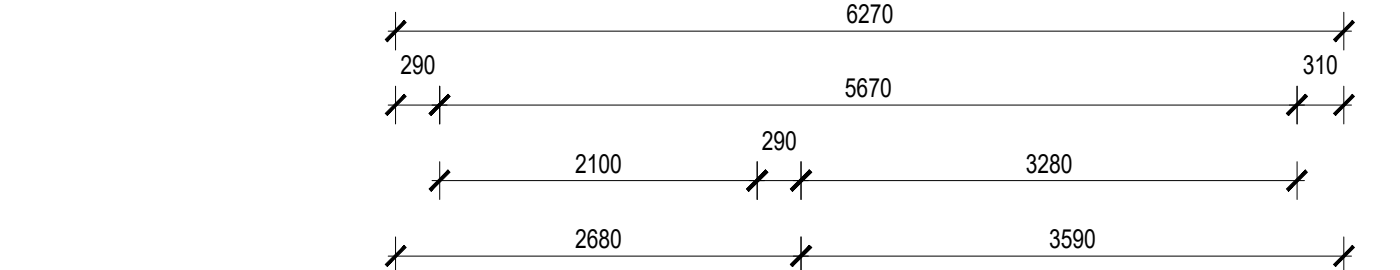
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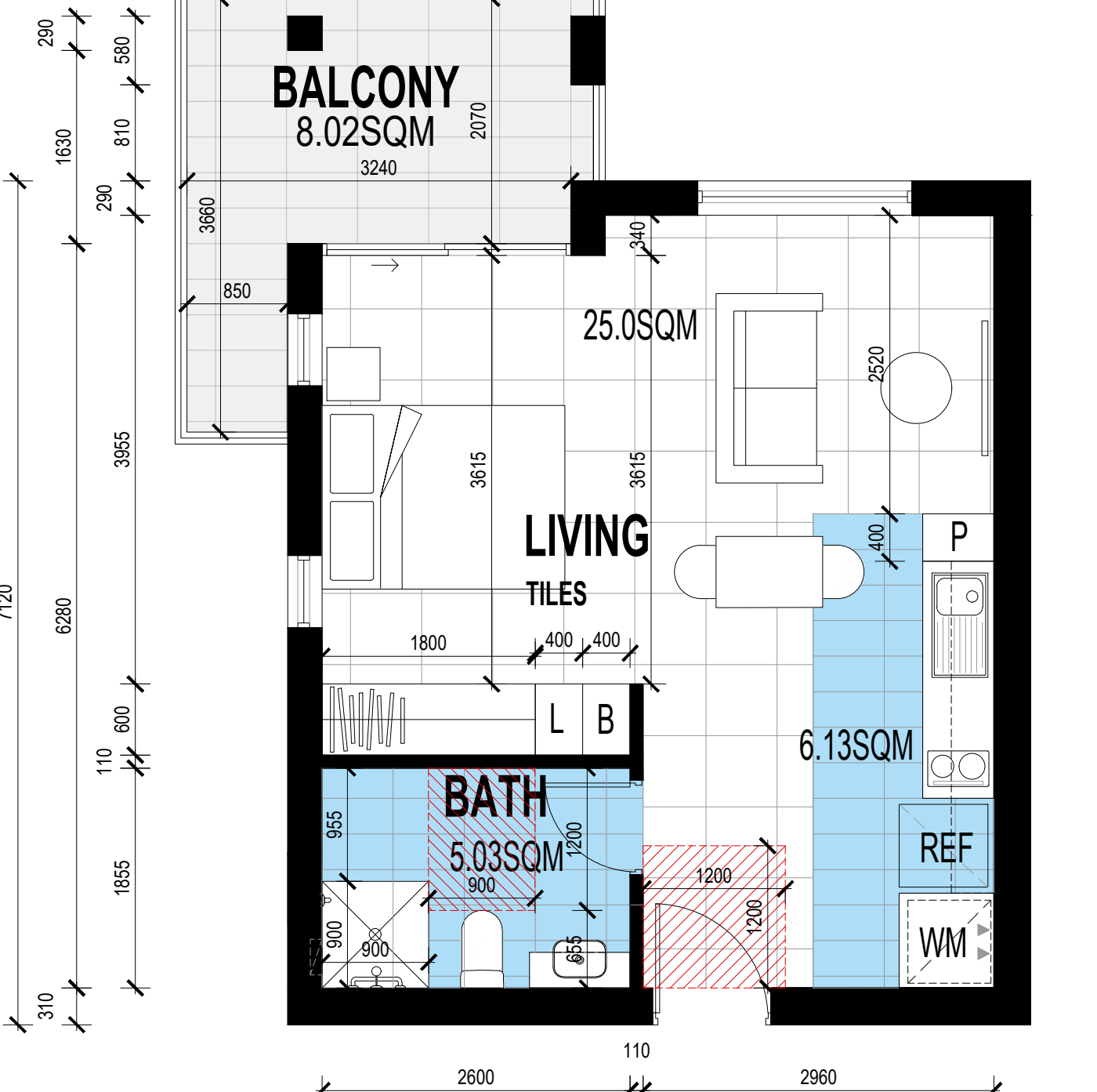
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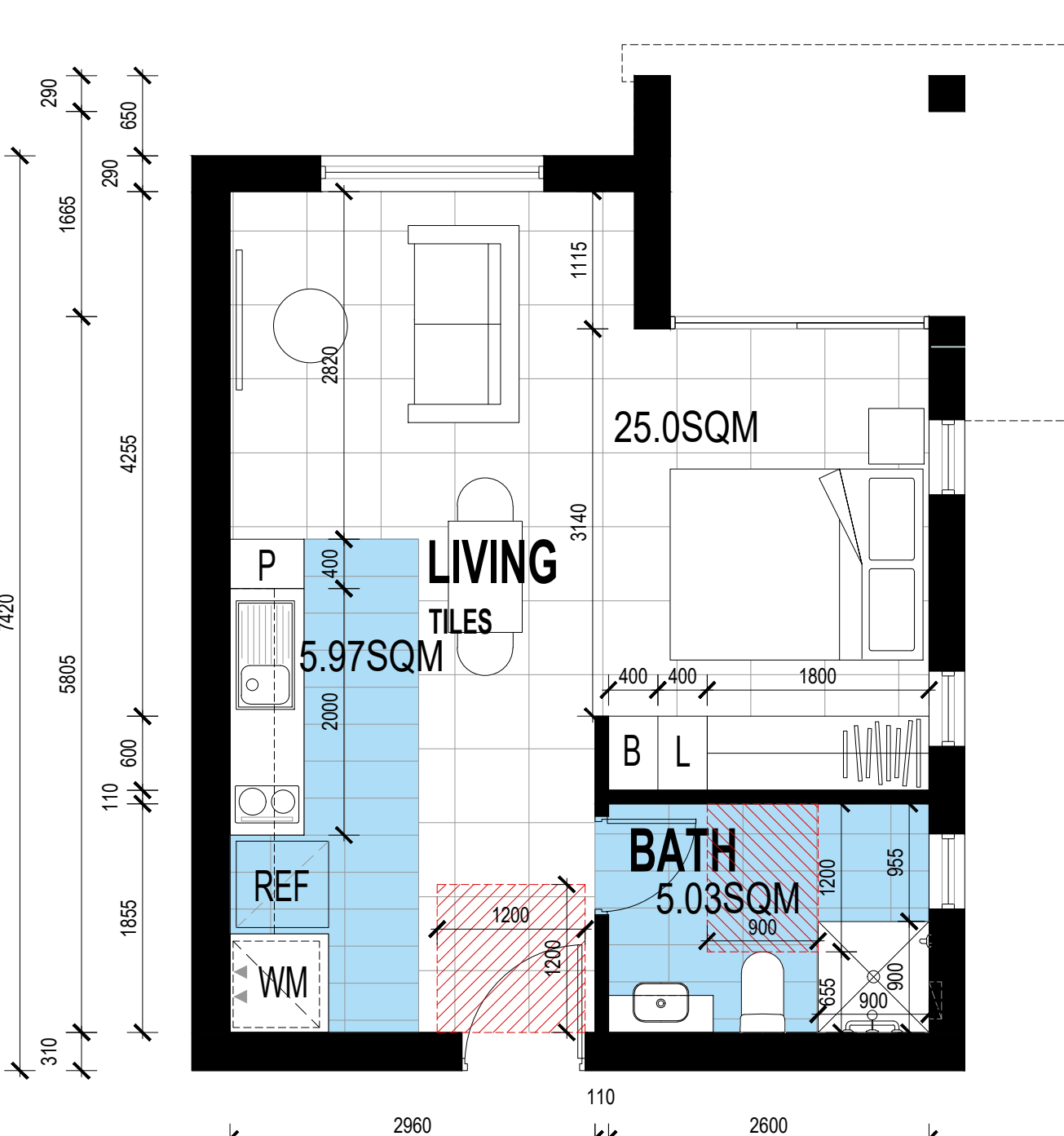
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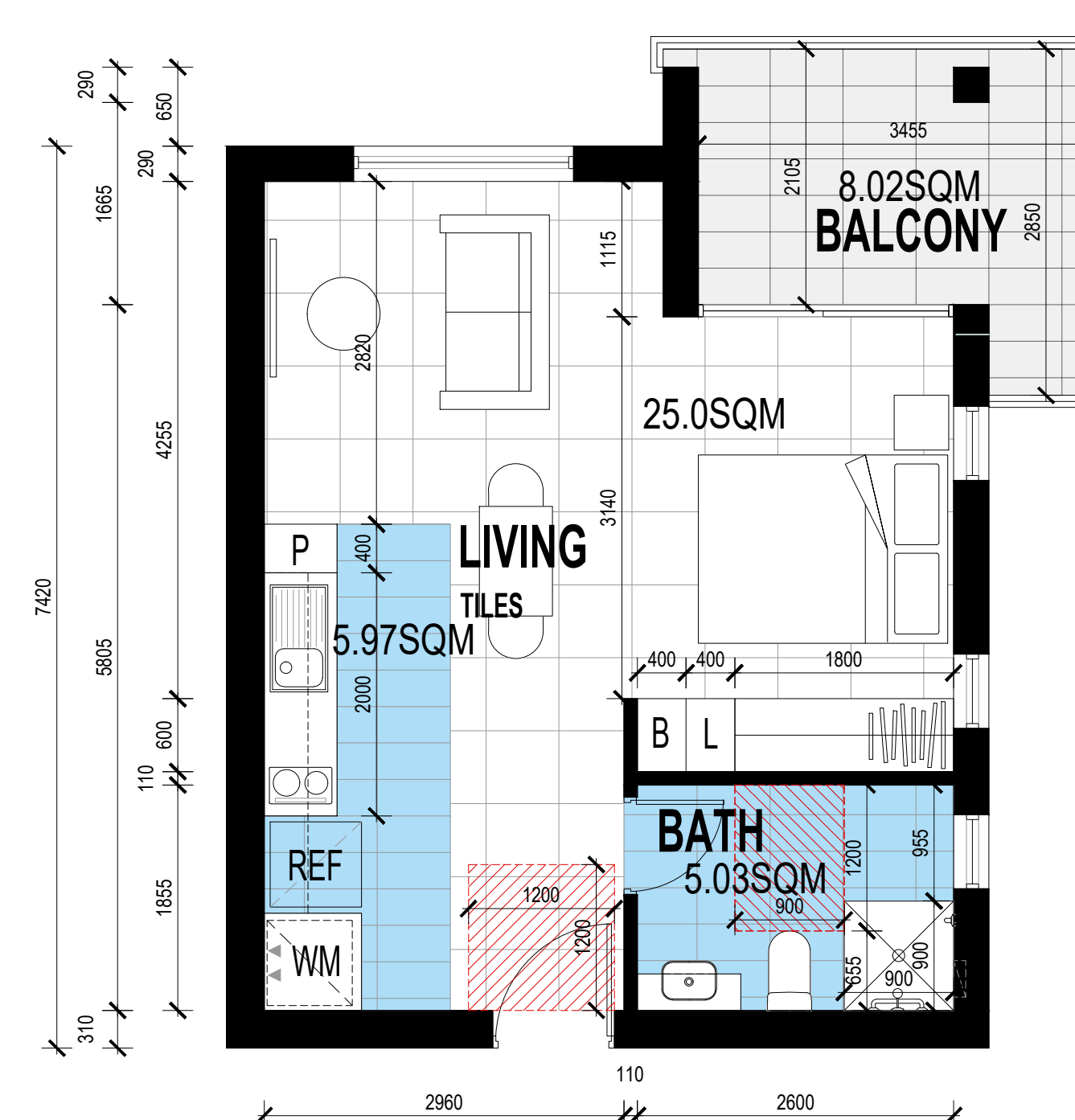
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TOTAL: 1



ROOM TYPE C (FIRST FLOOR)  
TOTAL: 1



ROOM TYPE D (GROUND FLOOR)  
TOTAL: 1



ROOM TYPE D (FIRST FLOOR)  
TOTAL: 1

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06	23.03.09	DA ISSUE
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03	22.10.04	DA ISSUE
02	22.07.25	REVISED DA ISSUE
01	22.07.14	REVISED DA ISSUE
ISSUE	DATE	AMENDMENTS



CLIENT  
NSW LAHC  
LOCKED BAG 5022  
PARRAMATTA NSW 2124  
PHONE: 1800 738 718

PROJECT  
BOARDING HOUSING  
DEVELOPMENT  
LOT: 1216 / DP:1183302  
189 RIVERSIDE DR, AIRDS, NSW 2560

TITLE  
ROOM TYPE  
SCHEDULE

SCALE  
1:50 @ A1

APPROVED  
DRAWN  
CHECKED  
DATE  
STATUS

CHECKED  
OCT 2020  
DA

PROJECT NUMBER  
DRAWING NUMBER  
ISSUE

20035  
A501  
06

0008089860 26 Sep 2022  
Assessor Riley Oulton  
Accreditation No. VES9410174  
Address  
RIVERSIDE DRIVE, AIRDS, NSW 2560  
www.nsw.gov.au

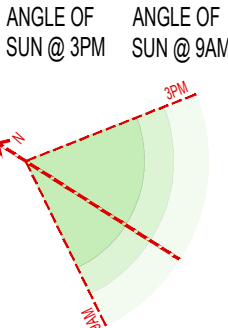
7.6  
Average  
star rating  
WYNDHAM  
HOUSE  
www.nsw.gov.au

crawford  
architects

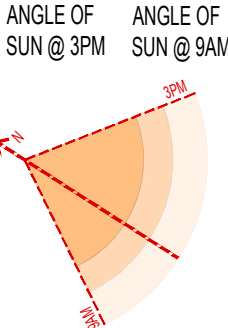


LEGEND - SOLAR ACCESS JUNE 21st

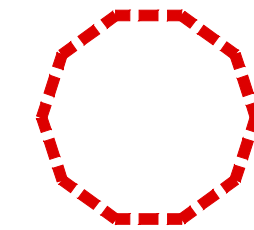
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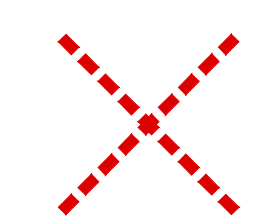
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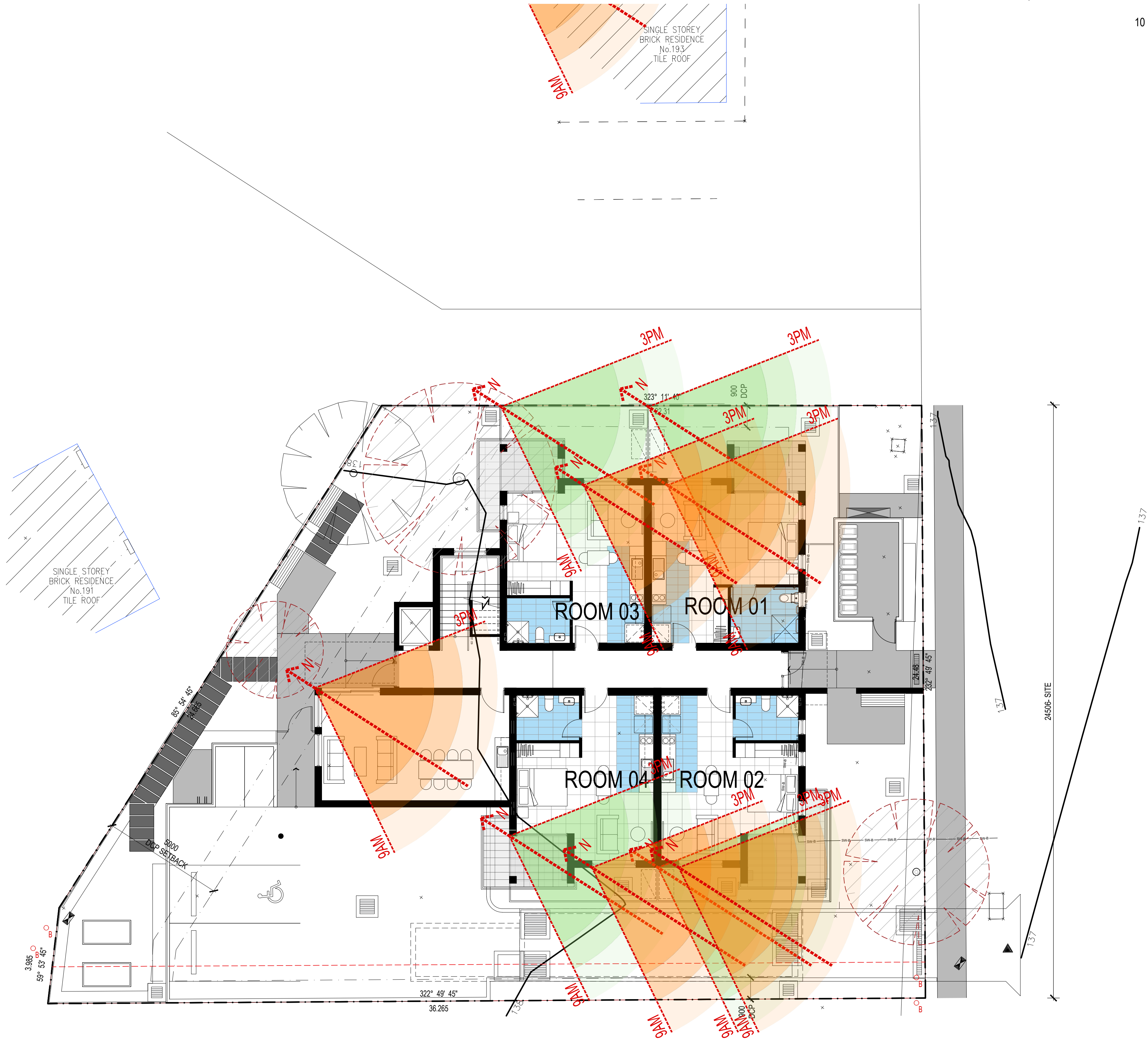
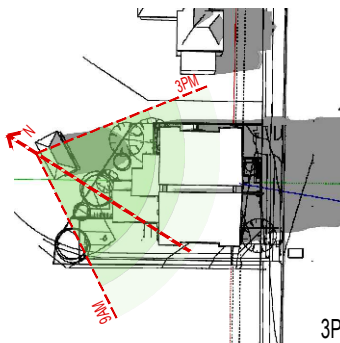
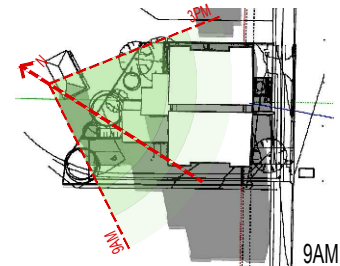
LIMITED SOLAR ACCESS



NO SOLAR ACCESS



ANGLE CLARIFICATION



DEVELOPMENT DATA			
Job Reference	BGWW7		
Locality / Suburb	Airds		
Street Address	189 Riverside Drive / Elizabeth Walk		
Lot Number(s) & Deposited Plan	1216 (D.P.1183302) / Elizabeth Walk (D.P.609357)		
SITE AREA PROPOSED (sqm)	741.11		
SOLAR ACCESS CALCULATION		UNIT	AREA (m2)
		1	COMPLIES
		2	NON COMPLIANT
		3	COMPLIES
		4	NON COMPLIANT
	Control	Requirement	Proposed
SOLAR ACCESS	HOUSING SEPP	3 hours between 9am & 3 pm 21 June to a communal living area	COMPLIES
	LAHC dwelling requirements	70% of units must receive 3 hours solar access to living areas and private open space in mid-winter	62.5% of units achieve 3hrs solar access

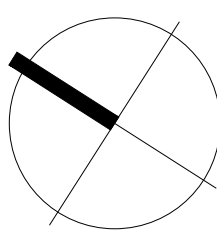
ISSUE	DATE	AMENDMENTS
10	23.03.09	DA ISSUE
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08	22.12.21	DA ISSUE
07	22.12.07	DA ISSUE
06	22.11.16	DA ISSUE



CLIENT  
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PHONE: 1800 738 718

PROJECT  
**BOARDING HOUSING DEVELOPMENT**  
LOT: 1216 / DP:1183302  
189 RIVERSIDE DR, AIRDS, NSW 2560

TITLE  
**SOLAR ACCESS  
GROUND FLOOR PLAN**



SCALE  
1:100 @ A1/ 1:200 @ A3  
  
APPROVED  
DRAWN  
CHECKED  
DATE  
STATUS  
OCT 2020  
DA

PROJECT NUMBER  
DRAWING NUMBER

20035

A510

ISSUE

10



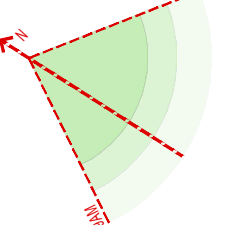


LEGEND - SOLAR ACCESS JUNE 21st

SOLAR ACCESS TO LIVING

ANGLE OF  
SUN @ 3PM

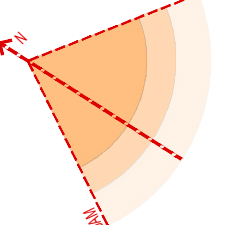
ANGLE OF  
SUN @ 9AM



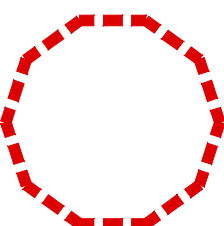
SOLAR ACCESS TO POS

ANGLE OF  
SUN @ 3PM

ANGLE OF  
SUN @ 9AM



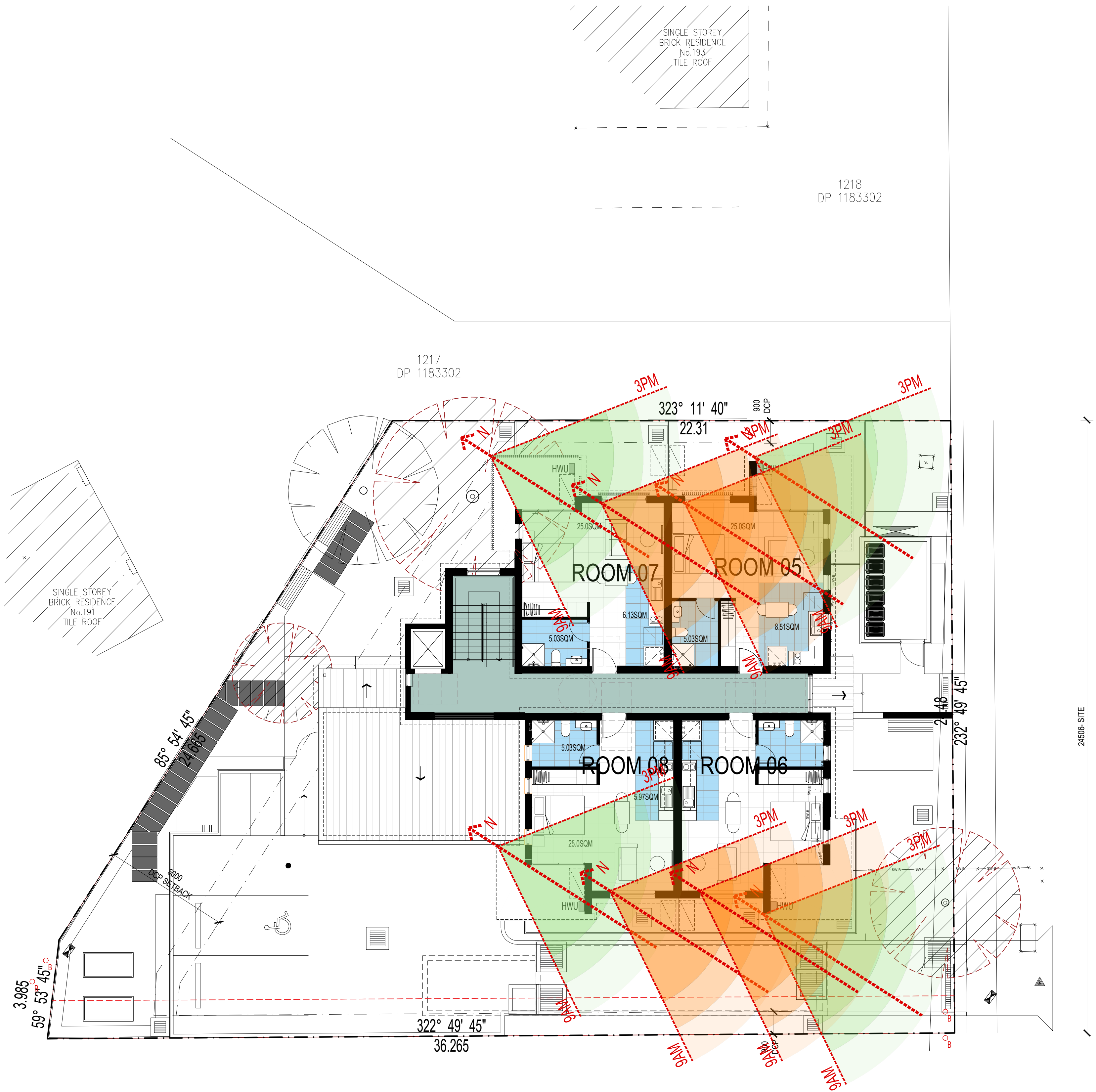
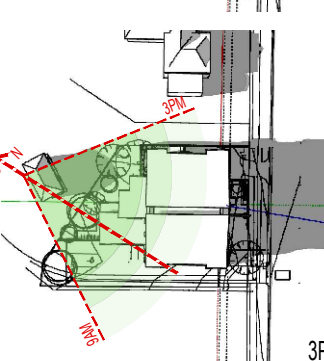
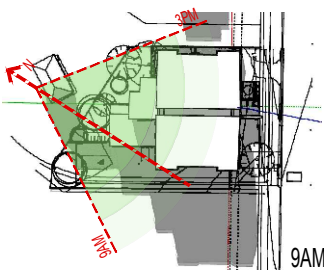
LIMITED SOLAR ACCESS



NO SOLAR ACCESS



ANGLE CLARIFICATION



RIVERSIDE DRIVE

DEVELOPMENT DATA			
Job Reference	BGWW7		
Locality / Suburb	Airds		
Street Address	189 Riverside Drive / Elizabeth Walk		
Lot Number(s) & Deposited Plan	1216 (D.P.1183302) / Elizabeth Walk (D.P.609357)		
SITE AREA PROPOSED (sqm)	741.11		
SOLAR ACCESS CALCULATION		UNIT	AREA (m2)
		5	COMPLIES
		6	NON COMPLIANT
		7	COMPLIES
		8	COMPLIES
	Control	Requirement	Proposed
SOLAR ACCESS	HOUSING SEPP	3 hours between 9am & 3 pm 21 June to a communal living area	COMPLIES
	LAHC dwelling requirements	70% of units must receive 3 hours solar access to living areas and private open space in mid-winter	62.5% of units achieve 3hrs solar access

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NORTH SYDNEY, NSW 2060 AUSTRALIA  
ABN 56 120 779 106  
NOMINATED ARCHITECTS:  
TONY GRAY 5303 & PAUL GODSELL 6726

P 02 9660 3644 www.crawford.com.au  
E arch@crawford.com.au

ISSUE	DATE	AMENDMENTS
10	23.03.09	DA ISSUE
09	23.01.05	DA ISSUE
08	22.12.21	DA ISSUE
07	22.12.07	DA ISSUE
06	22.11.16	DA ISSUE



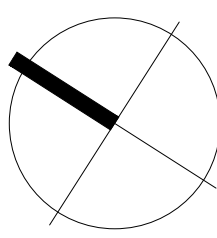
NSW LAHC  
LOCKED BAG 5022

PARRAMATTA NSW 2124  
PHONE: 1800 738 718

BOARDING HOUSING  
DEVELOPMENT

LOT: 1216 / DP:1183302  
189 RIVERSIDE DR, AIRDS, NSW 2560

SOLAR ACCESS  
FIRST FLOOR PLAN



SCALE 1:100 @ A1 / 1:200 @ A3  
APPROVED  
DRAWN  
CHECKED  
DATE  
STATUS

PROJECT NUMBER 20035  
DRAWING NUMBER

20035

A511

ISSUE

10

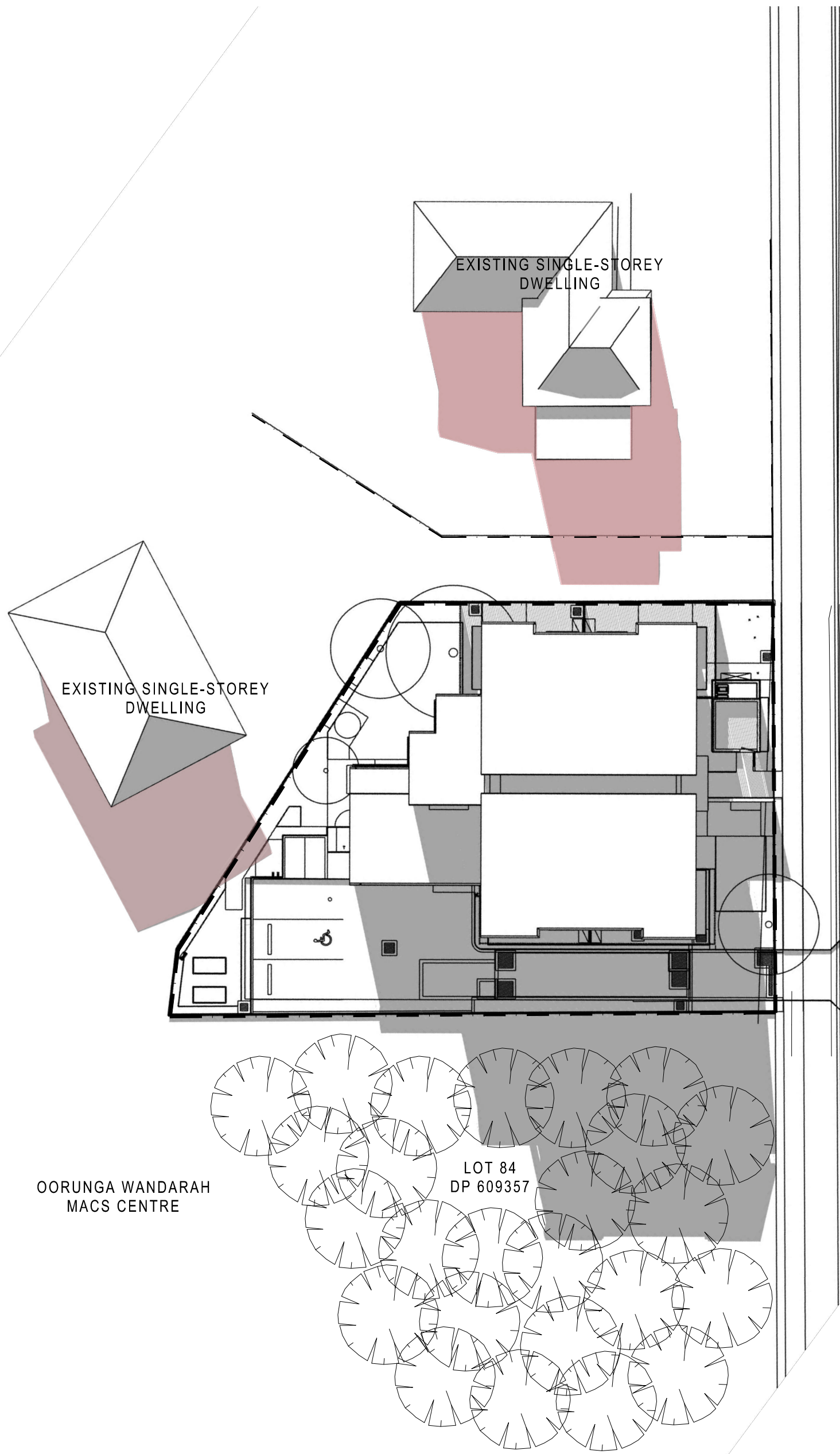




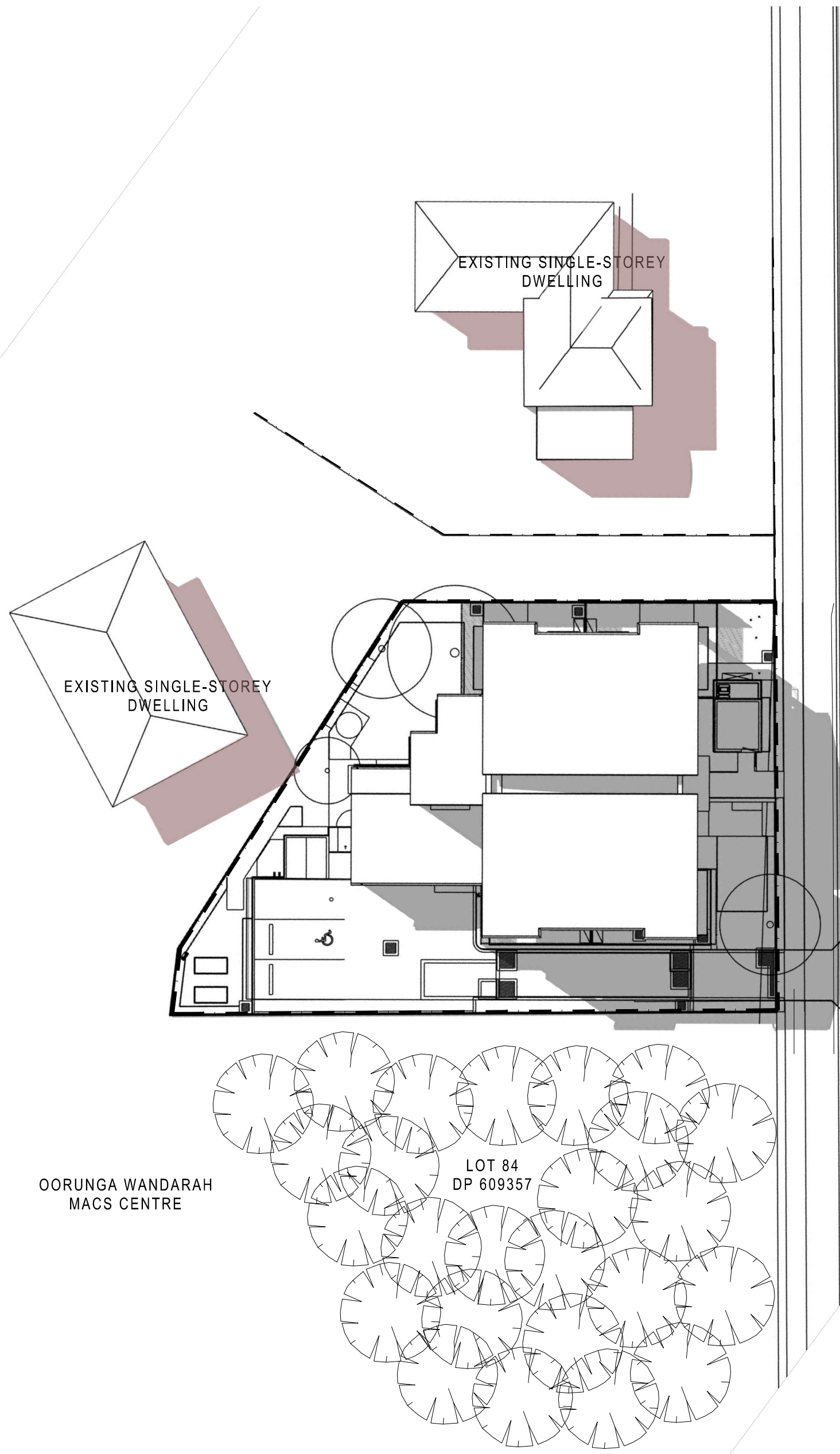
LEGEND

SHADOWS CAST BY NEIGHBOURING BUILDINGS

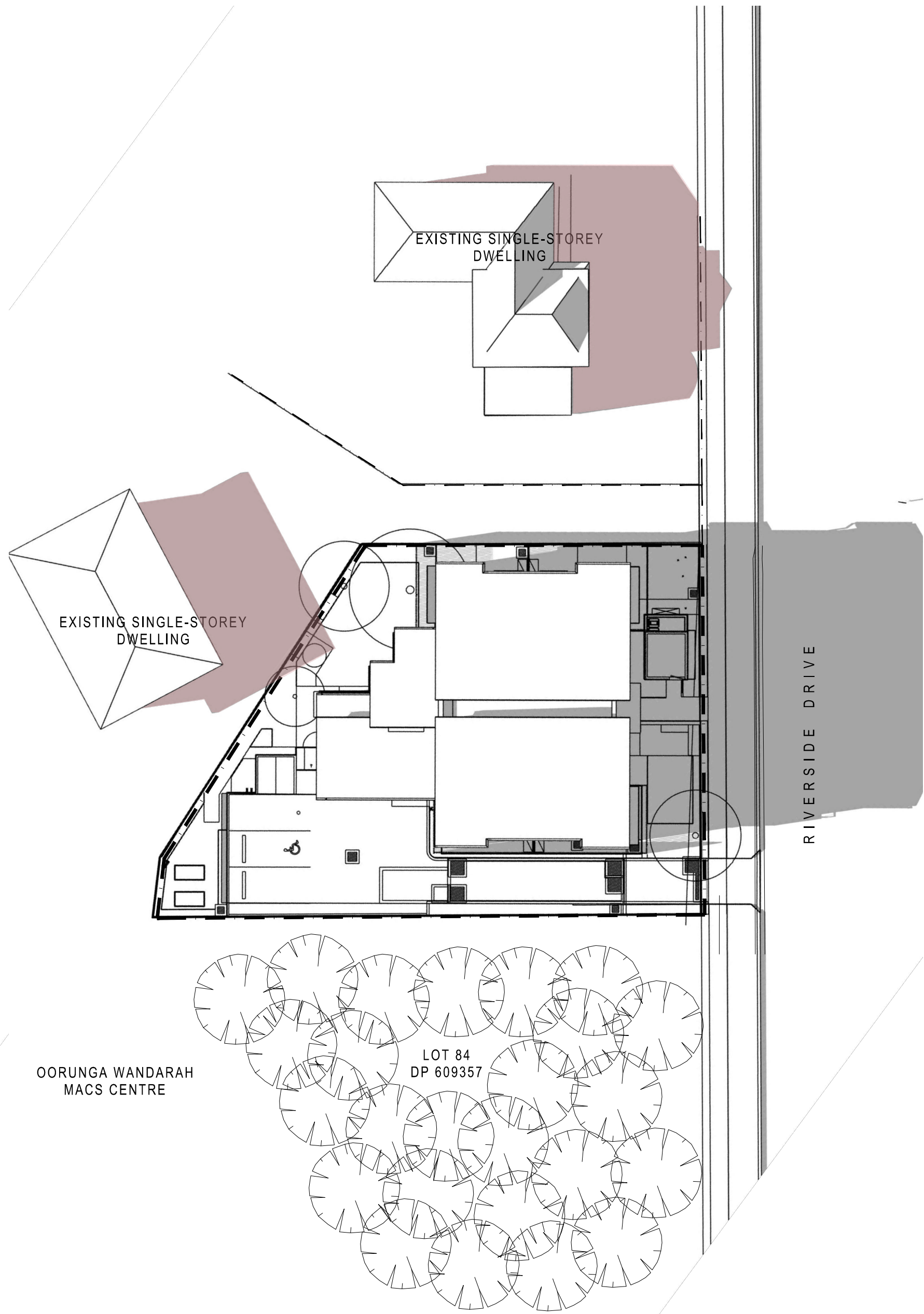
SHADOWS CAST BY PROPOSED DEVELOPMENT



01 June 21st - 9:00am



02 June 21st - 12:00pm



03 June 21st - 3:00pm

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E arch@crawford.com.au

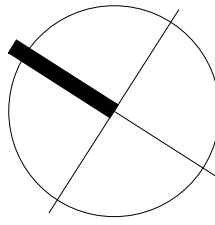
ISSUE	DATE	AMENDMENTS
09	23.03.09	DA ISSUE
08	22.12.21	DA ISSUE
07	22.12.07	DA ISSUE
06	22.11.16	DA ISSUE
05	22.10.04	DA ISSUE



CLIENT  
**NSW LAHC**  
LOCKED BAG 5022  
  
PARRAMATTA NSW 2124  
PHONE: 1800 738 718

PROJECT  
**BOARDING HOUSING  
DEVELOPMENT**  
LOT: 1216 / DP:1183302  
189 RIVERSIDE DR, AIRDS, NSW 2560

TITLE  
**SHADOW DIAGRAMS**



SCALE n/a  
  
APPROVED  
DRAWN JC  
CHECKED CHECKED  
  
DATE OCT 2020  
STATUS DA

PROJECT NUMBER DRAWING NUMBER

20035

A520

ISSUE

09

**crawford  
architects**





# LAHC Airds

## LANDSCAPE DEVELOPMENT APPLICATION

### 189 Riverside Drive, Airds, NSW 2560

DETERMINED by the NSW Land and Housing Corporation on:

10 October 2023



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The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

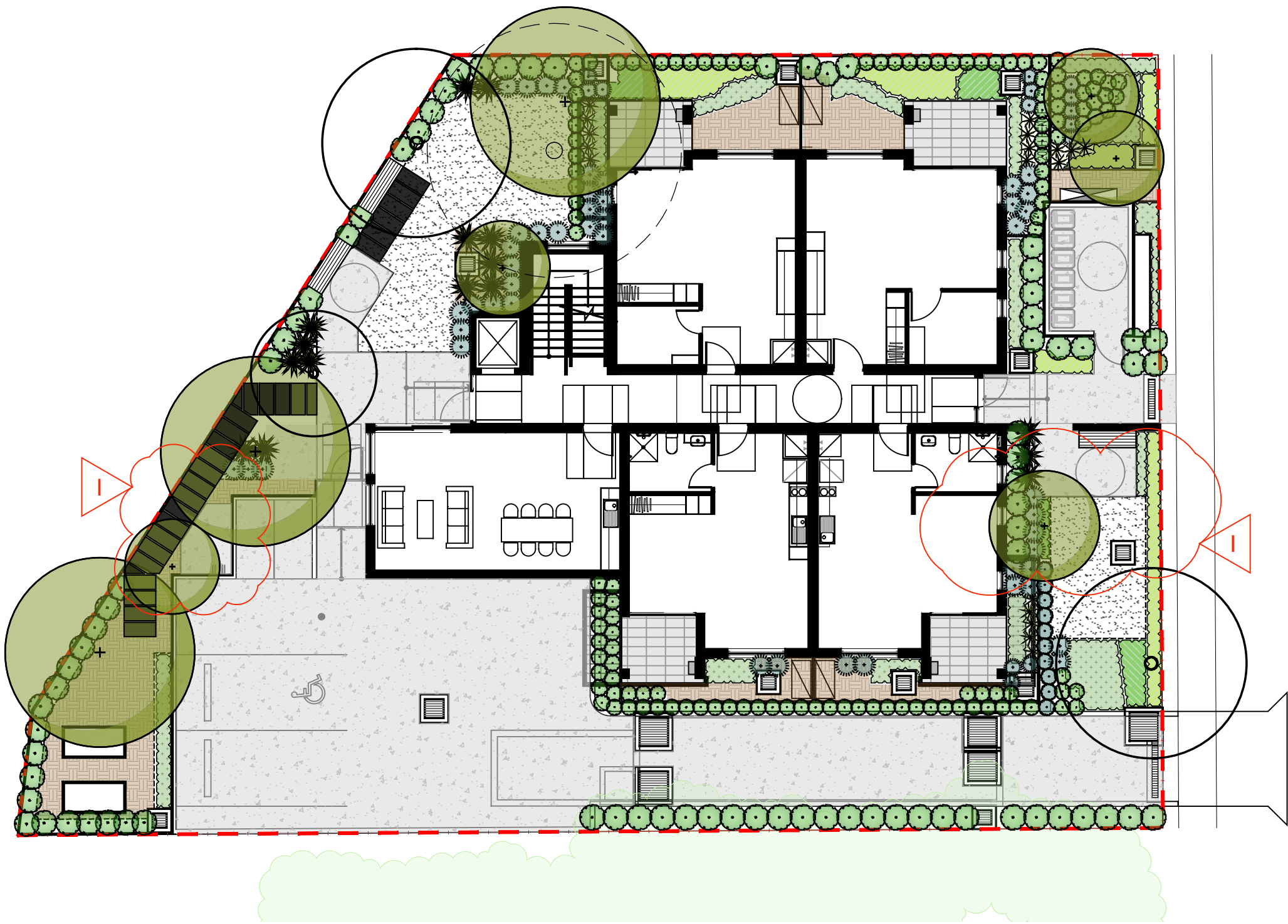
#### Drawing Schedule

Drawing Number	Drawing Title	Scale
000	Landscape Coversheet	N/A
101	Landscape Plan	1:100
501	Landscape Deatils	As Shown

I	Architectural Coordination	JD	NM	03.04.2023
H	Hardstand Added to Seat	JD	NM	23.02.2023
G	Architectural Coordination	JD	NM	22.11.2022
F	Architectural Coordination	LW	NM	10.10.2022
E	Architectural Coordination	LW	NM	04.10.2022
D	Architectural Coordination	RG	NM	14.07.2022
C	Architectural Coordination	RG	NM	07.07.2022
B	Architectural Coordination	RG	NM	18.05.2022
A	Preliminary	MW	NM	14.04.2022
Issue	Revision Description	Drawn	Check	Date

#### Legend

Symbol	Botanic Name	Common Name	Height x Width (m)	Pot Size	Spacing	Quantity
<strong>Trees</strong>						
Cua	<i>Cupaniopsis anacardioides</i>	Tuckeroo	7 x 5	75L	As Shown	2
Er	<i>Elaeocarpus reticulatus</i>	Blueberry Ash	12 x 5	75L	As Shown	1
MTB	<i>Magnolia grandiflora</i> 'Teddy Bear'	Teddy Bear Magnolia	4 x 2.5	75L	As Shown	2
TL	<i>Tristaniopsis 'Luscious'</i>	Water Gum	10 x 8	75L	As Shown	2
MI	<i>Melaleuca linariifolia</i>	Snow in Summer	8 x 2.5	75L	As Shown	1
<strong>Shrubs / Accents</strong>						
AsM	<i>Acmena smithii</i> 'Minor'	Dwarf Lilly Pilly	3 x 2	300mm	As Shown	72
Ca	<i>Correa alba</i>	White Correa	1 x 1.5	300mm	As Shown	116
CLJ	<i>Callistemon 'Little John'</i>	Bottlebrush	1.5 x 1.5	300mm	As Shown	22
De	<i>Doryanthes excelsa</i>	Gynea Lily	2 x 2	300mm	As Shown	31
MCT	<i>Melaleuca linariifolia</i> 'Claret Tops'	Honey Myrtle	1 x 1	300mm	As Shown	8
PRR	<i>Photinia 'Red Robin'</i>	Photinia	2.5 x 3	300mm	As Shown	28
Wf	<i>Westringia fruticosa</i> 'Aussie Box'	Coastal Rosemary	0.7 x 0.7	300mm	As Shown	32
<strong>Groundcovers/ Grasses</strong>						
Dc	<i>Dianella caerulea</i>	Paroo Lily	0.7 x 0.7	150mm	5/m2	18
Dr	<i>Dichondra repens</i>	Kindney Weed	0.2 x 1.5	150mm	5/m2	12
Hv	<i>Hardenbergia violacea</i>	Purple Coral Pea	Spreading	150mm	5/m2	24
Hs	<i>Hibbertia scandens</i>	Golden Guinea Flower	0.2 x 1.5	150mm	5/m2	15
LT	<i>Lomandra longifolia</i> 'Tanika'	Mat Rush	0.7 x 0.7	150mm	5/m2	25
Mp	<i>Myoporum parvifolium</i>	Boobialla	0.2 x Spreading	150mm	5/m2	40
LJR	<i>Linope muscari</i> 'Just Right'	Just Right Lily Turf	0.5 x 0.5	150mm	5/m2	44
PN	<i>Pennisetum alopecuroides</i> 'Nafraz'	Fountain Grass	1.0 x 1.0	150mm	5/m2	22



Site Plan | Scale 1:150

NOT FOR CONSTRUCTION

Client  
LAHC

Project  
LAHC  
189 Riverside Drive, Airds,  
NSW 2560


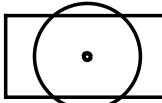

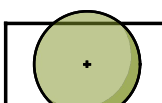

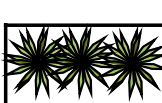

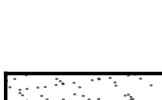


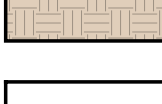
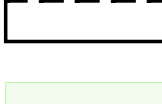


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Fax: (61 2) 9698 2877  
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ABN 44 801 262 380  
Landscape Architects

Development Application

Drawing Name  
Landscape Coversheet

Scale N/A  
Job Number  
SS20-4502  
Drawing Number  
000  
Issue  
I



	<b>Site Boundary</b>
	<b>Tree to be Retained</b> Refer Arborist Report
	<b>Tree to be Removed</b> Refer Arborist Report
	<b>Proposed Trees</b> Refer Plant Schedule and Detail
	<b>Proposed Shrubs</b> Refer Plant Schedule and Detail
	<b>Proposed Accents</b> Refer Plant Schedule and Detail
	<b>Proposed Grasses and Groundcovers</b> Refer Plant Schedule and Detail
	<b>Proposed Turf</b> (Refer Detail)
	<b>Proposed Paving</b> Refer Architectural Plans and Specifications
	<b>Mulch</b>
	<b>Concrete Edge</b>
	<b>Existing Vegetation</b>
	<b>Bench</b>
	<b>Picnic Table</b>

Project  
LAHC  
189 Riverside Drive, Airds,  
NSW 2560

**S I T E   I M A G E**

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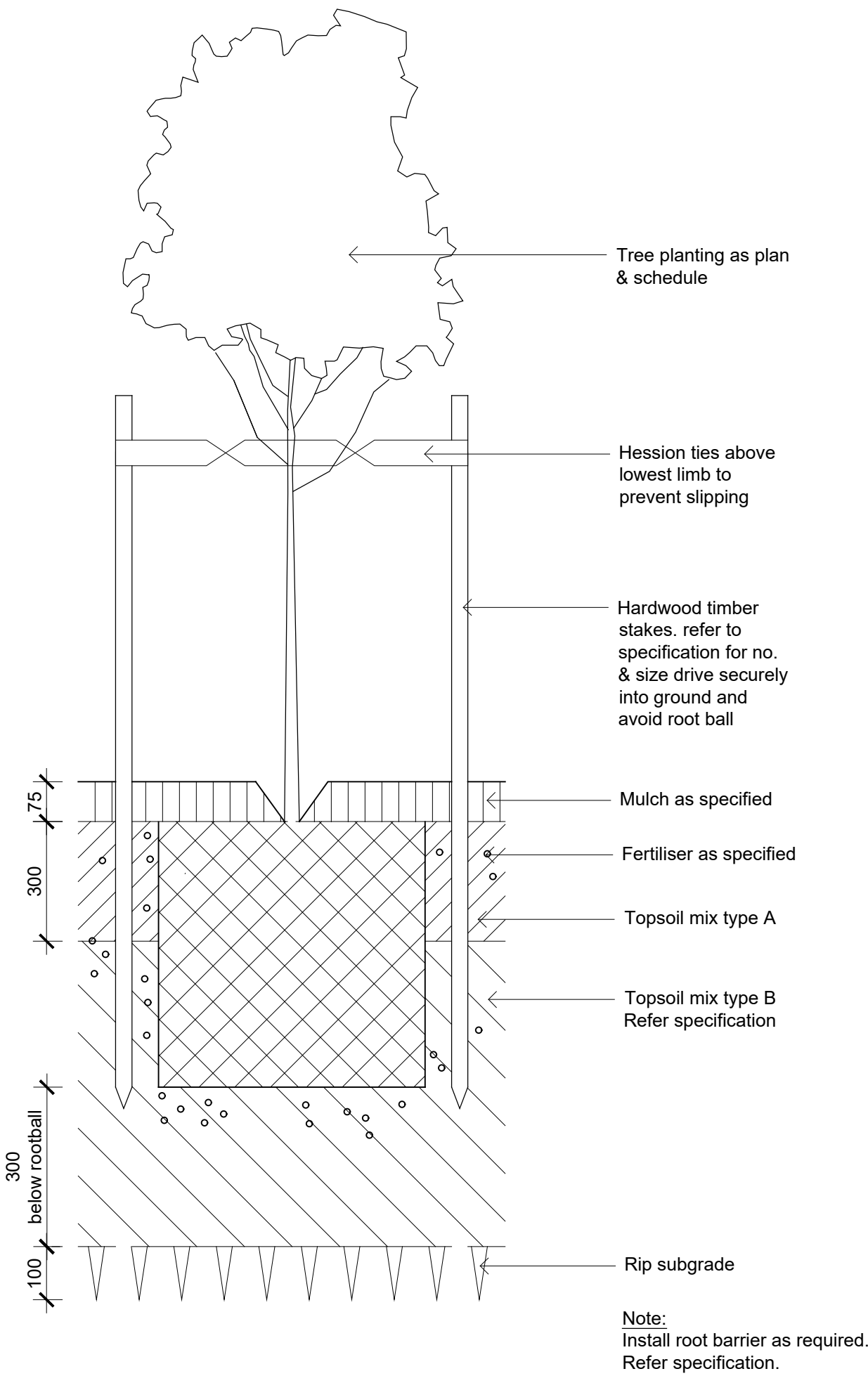
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Landscape Plan

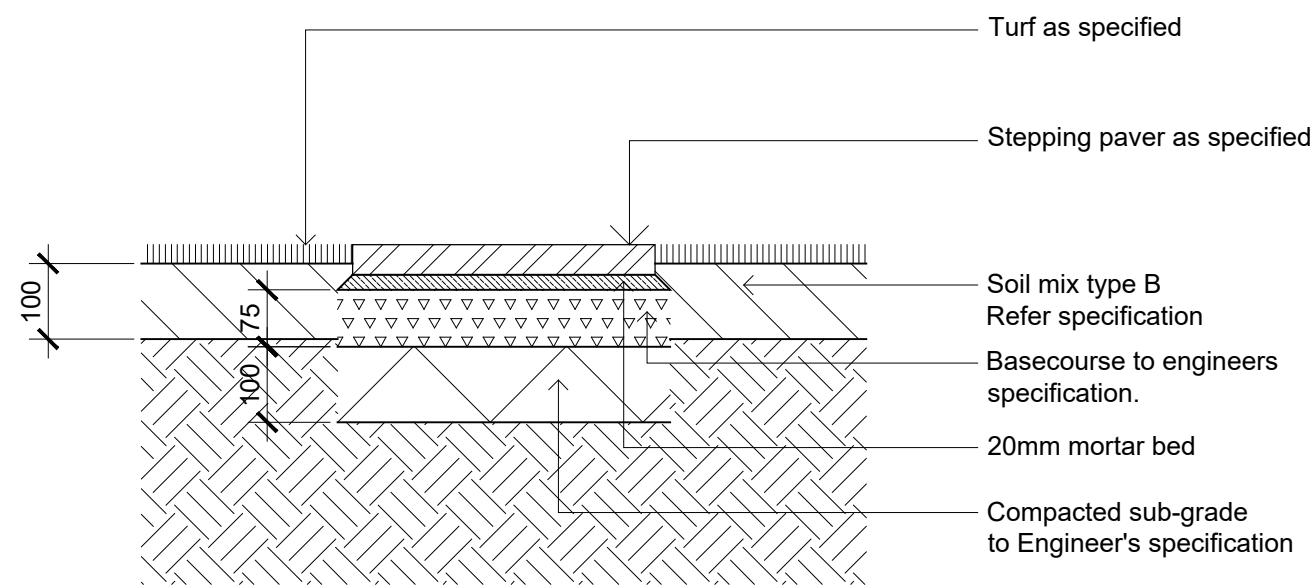
SS20-4502 101 J



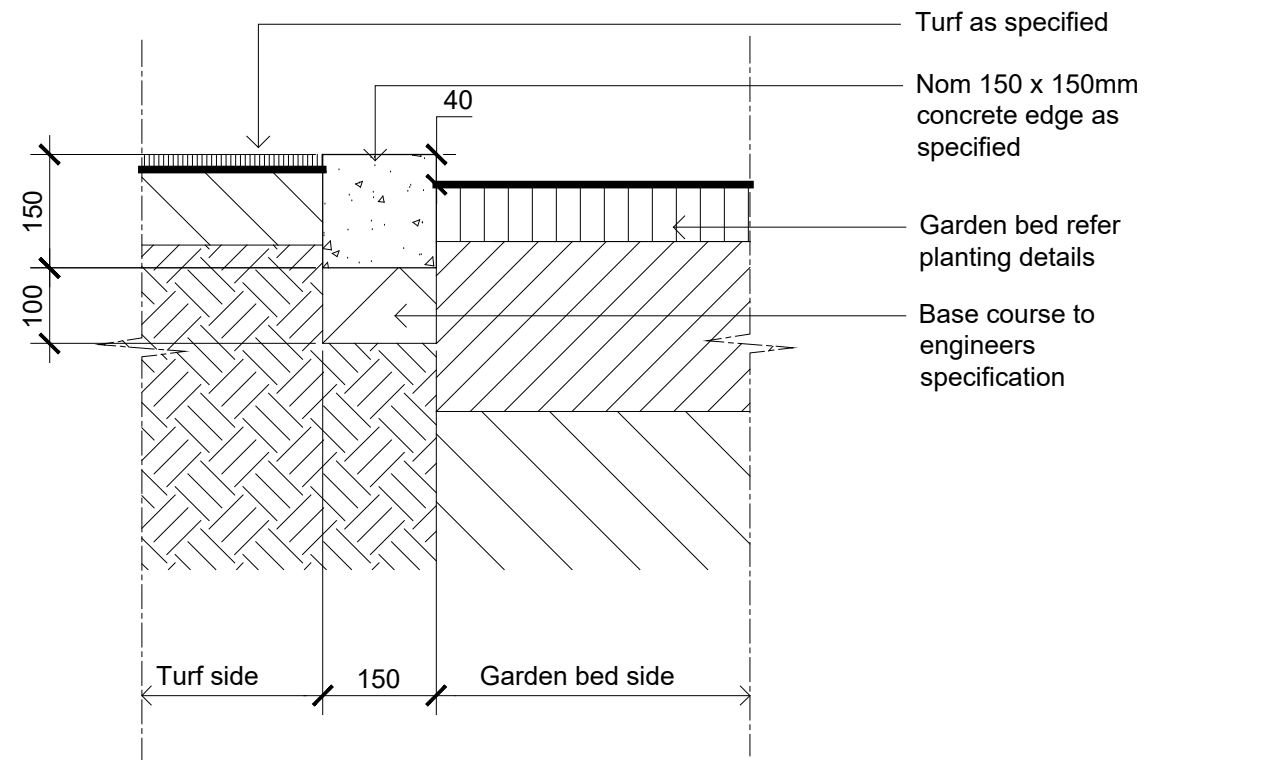




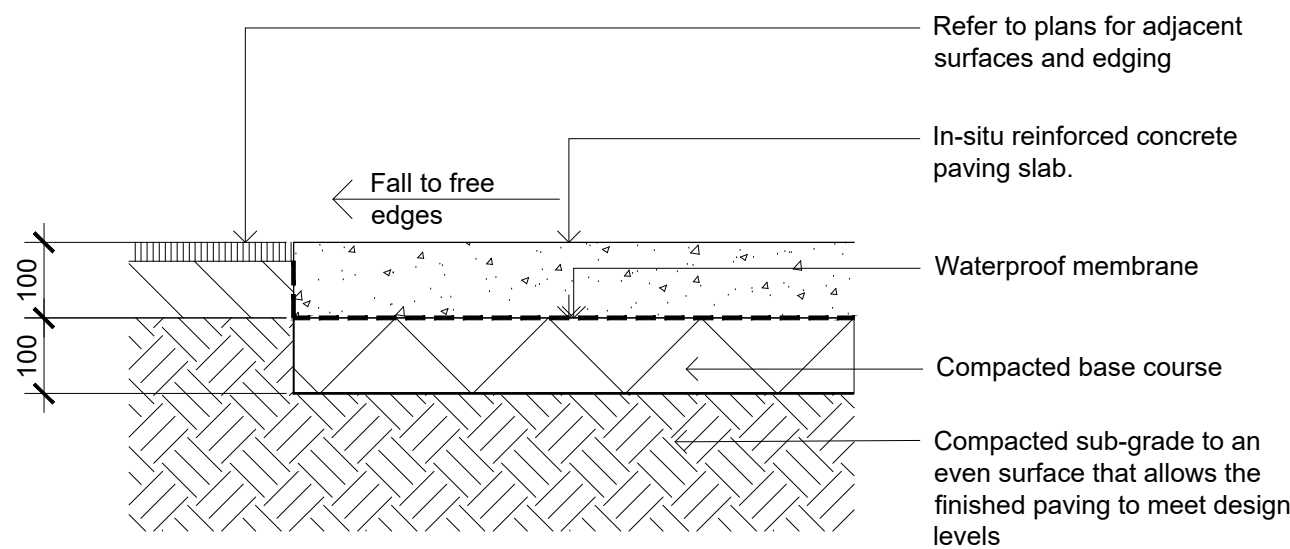
01  
501  
1:10  
Detail 75-200L Tree Planting on Grade



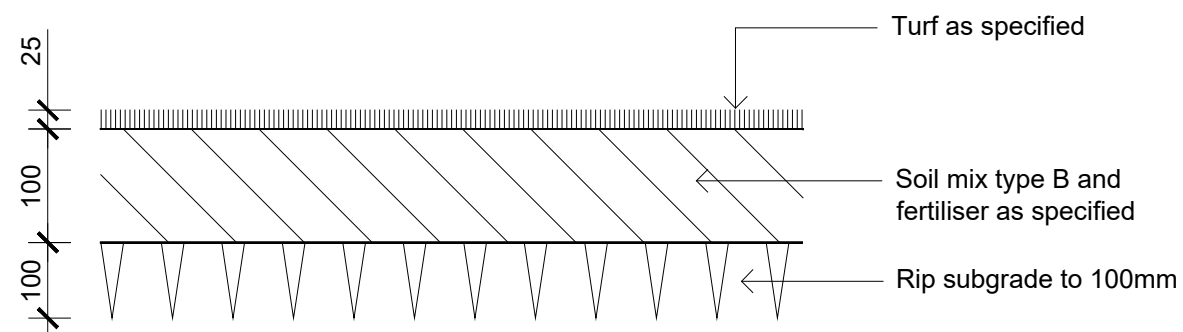
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501  
1:10  
Stepping Paver in Turf on Grade



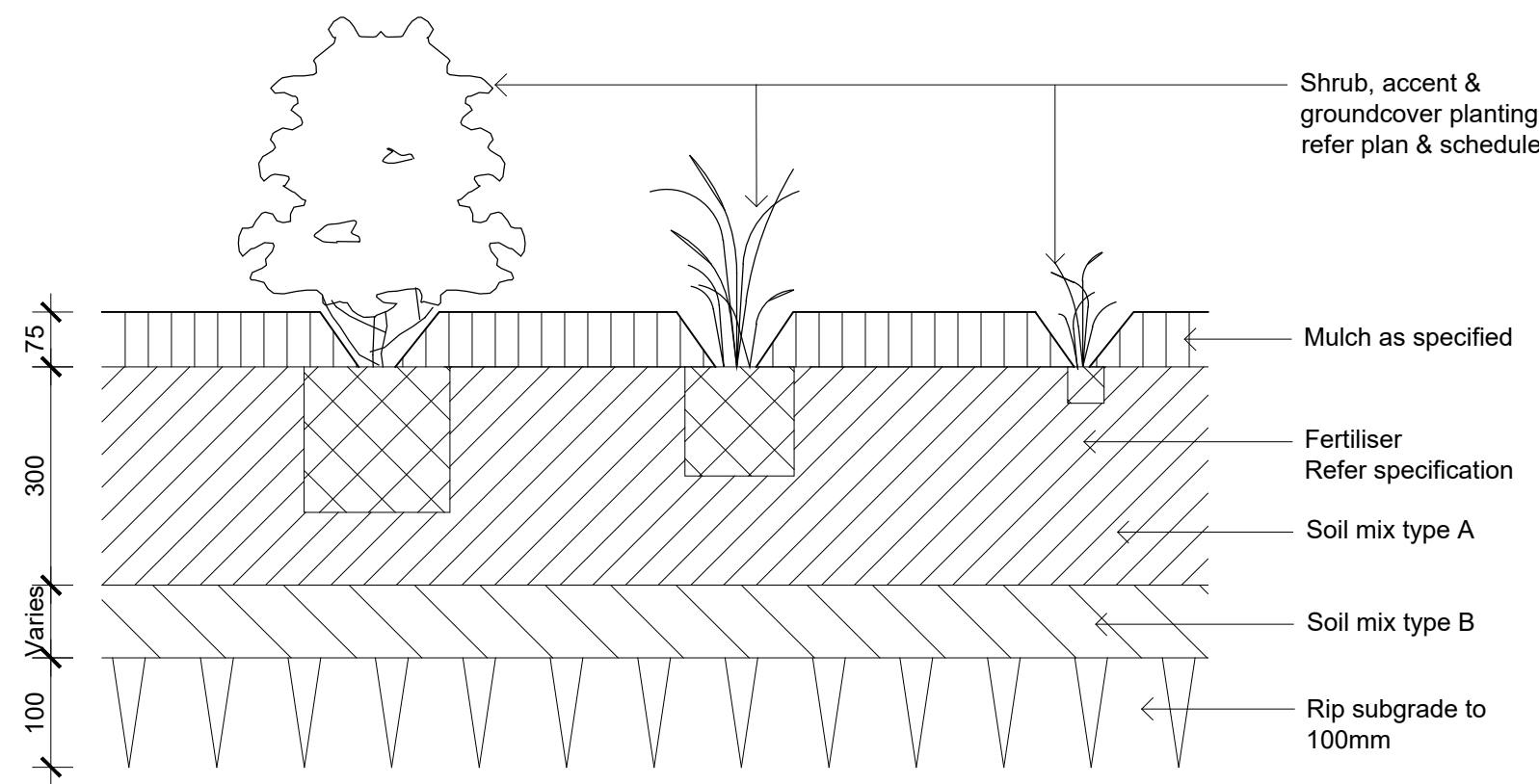
06  
501  
1:10  
Typical Concrete Edge



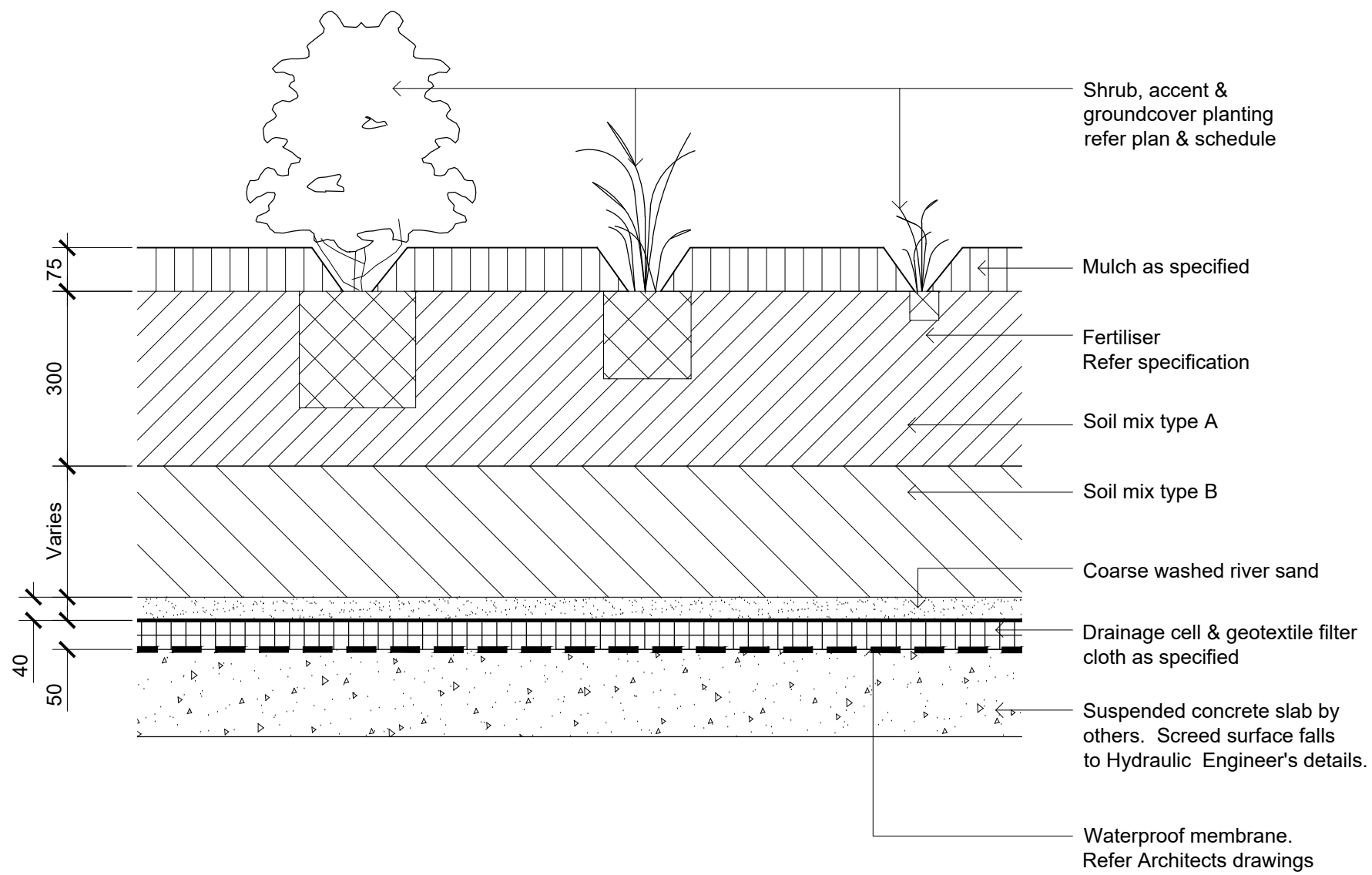
04  
501  
1:10  
Insitu Concrete Paving - On grade



07  
501  
1:10  
Detail Turf on Even Grade



02  
501  
1:10  
Detail Shrub Accent & Groundcover Planting on Grade



05  
501  
1:10  
Detail Shrub Accent & Groundcover Planting on Structure

Client  
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Project  
LAHC  
189 Riverside Drive, Airds,  
NSW 2560

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Development Application

Drawing Name  
Landscape Details

Scale As Shown  
Job Number Drawing Number Issue

SS20-4502

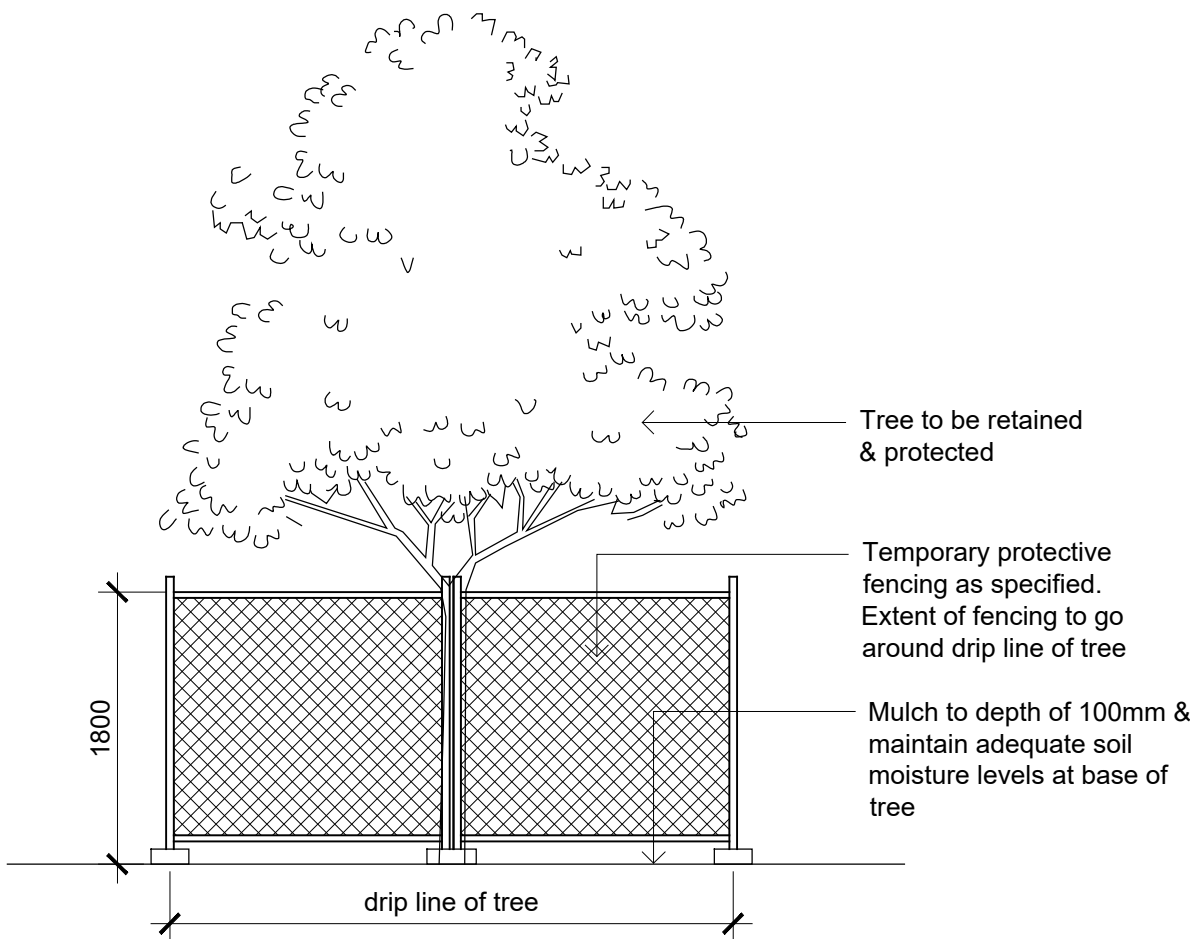
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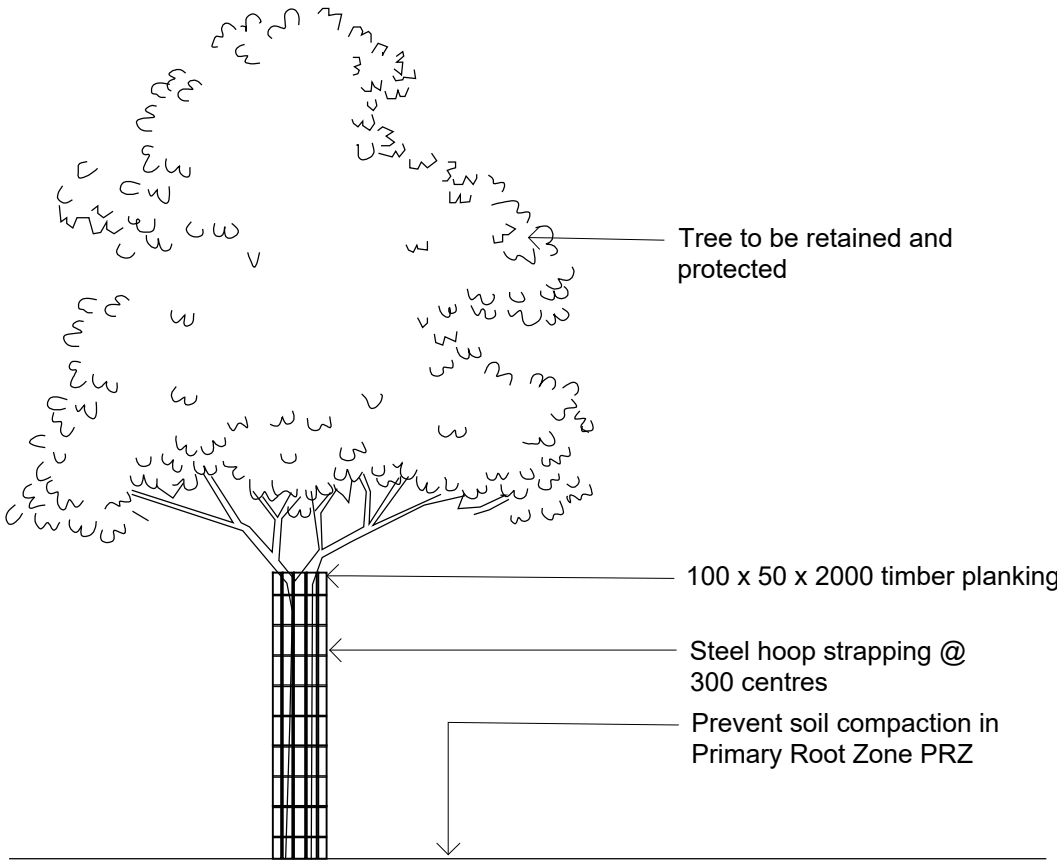
10 October 2023

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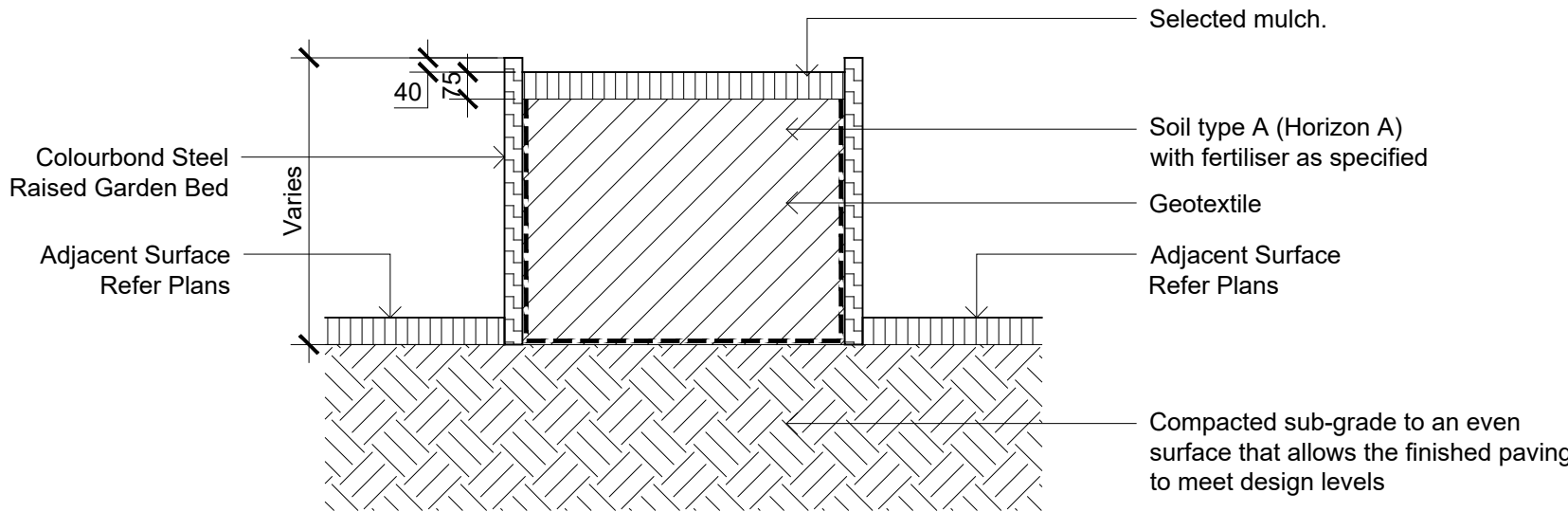
The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.



01  
502  
Detail - Tree Protection Fencing  
1:50



02  
502  
Detail - Tree Protection Planks  
1:50



03  
502  
Section - Raised Planter Box  
1:20

A	Architectural Coordination	RG	NM	14.07.2022
Issue	Revision Description	Drawn	Check	Date

Client  
LAHC

Project  
LAHC  
189 Riverside Drive, Airds,  
NSW 2560

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Development Application

Drawing Name  
Landscape Details

Scale As Shown  
Job Number Drawing Number Issue  
SS20-4502 502 A



NOT TO BE USED FOR CONSTRUCTION PURPOSES



- S1. ALL STORMWATER DRAINAGE TO BE IN ACCORDANCE WITH AS 3500.3 AND COUNCIL REQUIREMENTS.
- S2. DOWNPIPE LOCATIONS ARE INDICATIVE ONLY. FINAL LOCATIONS TO BE REFER TO ARCHITECT DRAWING.
- S3. ALL HABITABLE FLOOR LEVELS ARE TO BE AT LEAST 200 mm ABOVE FINISHED GROUND LEVELS ADJACENT TO NEW DWELLINGS.
- S4. WHERE PIPE SIZE NOT SHOWN ON DRAWING, USE 100ø UPVC (MIN. 1.0%)
- S5. PRIOR TO ANY CONSTRUCTION ON SITE THE BUILDER SHALL CHECK THE ASSUMED LEVELS OF ALL UPSTREAM AND DOWNSTREAM EXISTING DRAINAGE STRUCTURES TO ENSURE THE VIABILITY OF THE PROPOSED WORKS. THE ENGINEER IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES IN LEVELS OR LOCATION OF STRUCTURES.
- S6. PRIOR TO ANY CONSTRUCTION ON SITE THE BUILDER SHALL CHECK THE LOCATION AND DEPTH OF ALL SEWER STRUCTURES TO ENSURE NO CONFLICT WITH THE PROPOSED WORKS.
- S7. A CHILD PROOF AND CORROSION RESISTANT FASTENING SYSTEM FOR THE ACCESS GRATES TO DETENTION TANK/TANKS/SILT ARRESTOR PIT /PIT GREATER THAN 600mm DEEP SHALL BE INSTALLED. (E.G. SPRING LOADED JAY-BOLT).
- S8. A 500mm x 200mm SIGN SHALL BE PLACED ADJACENT TO THE DETENTION TANK/SILT ARRESTOR PIT STATING THAT: "THIS DETENTION TANK/SILT ARRESTOR PIT SHALL BE REGULARLY INSPECTED AND CLEANED."
- S9. PIPES TO BE THRUST BORED TO MINIMISE ROOT DAMAGE IN THE VICINITY OF TREES.

ANY DOWNPIPE COLLECTING  
BALCONY STORMWATER TO BE  
CONNECTED TO STORMWATER PIT.

1. ALL STORMWATER PITS IN LANDSCAPE OR TURFED AREAS TO HAVE PERFORATED GALV. MESH BELOW GRATE
2. ALL PITS/GRATE DRAIN IN TRAFFICABLE AREAS TO HAVE A GALVANISED HINGED BOLT DOWN AND HEELGUARD GRATES

PRIOR TO ANY CONSTRUCTION ON SITE  
THE BUILDER SHALL CHECK INVERT LEVEL  
OF EXISTING K.I.P. TO  
ENSURE NO CONFLICT WITH THE PROPOSED  
WORKS.

PRIOR TO ANY CONSTRUCTION ON SITE  
THE BUILDER SHALL CHECK THE LOCATION  
AND DEPTH  
OF ALL UNDERGROUND SERVICES TO  
ENSURE NO CONFLICT WITH THE PROPOSED  
WORKS.

THE CONTRACTOR SHALL ARRANGE AND PAY ALL FEES TO  
CONNECT TO COUNCIL'S STORMWATER SYSTEM, IN  
COMPLIANCE WITH COUNCIL REQUIREMENTS.

EXISTING PIT TO BE RESTORED AS PER EXISTING  
CONDITION, OTHERWISE THE APPLICANT NEEDS TO  
RECONSTRUCT THE PIT AS PER COUNCIL'S SATISFACTION.

## STORMWATER SITE DRAINAGE LAYOUT PLAN

- ALL PIPELINES UNDER THE BUILDING SHALL BE CONSTRUCTED AND TESTED AS PER SECTION 10 OF AS/NZS 3500.3:2015
  - ALL PIPES SHALL BE SEWER GRADE EXTRA HEAVY DUTY.
-  DENOTES Ø150 UPVC WITH 1.0% MIN. SLOPE UNO..  
 DENOTES Ø100 UPVC WITH 1.0% MIN. SLOPE UNO..  
 OVERLAND FLOW DIRECTION.

FIRST FLUSH DEVICES TO BE PRIVED TO AUTHORITY'S REQUIREMENTS.

C.O.S. DENOTES TO BE CHECKED & CONFIRMED ON SITE.

TITLE: STORMWATER SITE DRAINAGE LAYOUT PLAN

\_\_\_\_\_

STATUS: DA			
DATE: 07.02.22	SCALE: 1:100	Consultant Job No: 22003	PROJECT No. BGWW7

STAGE:	DRAWN:	CHECKED:	APPROVED:
DA	DC	ME	ME

PROJECT:

BOARDING HOUSING DEVELOPMENT  
**189 RIVERSIDE DRIVE,  
AIRDS, NSW, 2560**

22003-C01f

	TYPE:
--	-------

SHEET:  
C01

REV:

REQUIRED RAINWATER TANK STORAGE VOLUME TO BE  
CONFIRMED WITH BASIX CERTIFICATE.

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F	22.03.23	ARCH'S NEW PLAN
E	18.11.22	ARCH'S NEW PLAN
D	05.10.22	ARCH'S NEW PLAN
C	13.07.22	ARCH'S NEW PLAN
B	10.05.22	ARCH'S NEW PLAN
A	06.04.22	ARCH'S NEW PLAN
REV	DATE	NOTATION/AMENDMENT
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.		

ARCHITECT
<b>CRAWFORD ARCHITECTS PTY LTD</b> PH (02) 9690 3644
PROJECT MANAGER
<b>LAND &amp; HOUSING CORPORATION</b> PH (02) 8753 8100 FAX (02) 8753 8011
ELECTRICAL CONSULTANT

	CIVIL CONSULTANT <b>MICHAEL ELL CONSULTING ENGINEERS PTY LTD</b> PH (02) 9807 5355 FAX (02) 9807 5366
N	HYDRAULIC CONSULTANT
	LANDSCAPE CONSULTANT

	BUSINESS PARTNER
D	

THE STORMWATER PIPE INVERT  
LEVEL TO BE CHECKED AND  
CONFIRMED WITH PEG-OUT  
REPORT TO MAKE SURE NO  
CONFLICT TO SEWER PIPE

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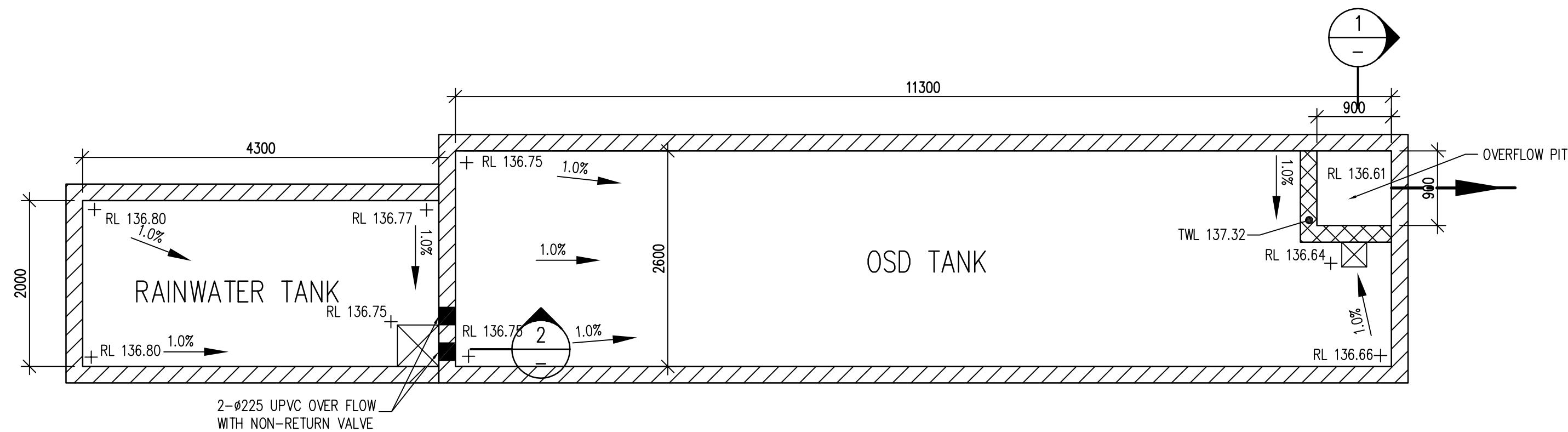
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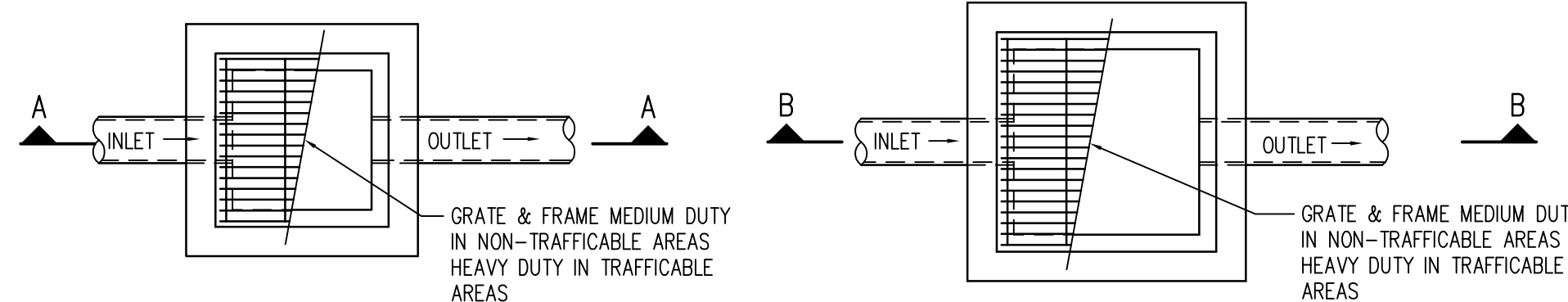


## Planning, Industry & Environment



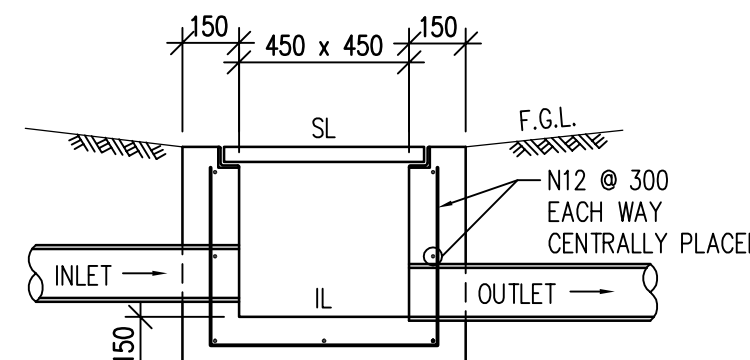


OSD/RAINWATER TANK PLAN  
SCALE 1:50

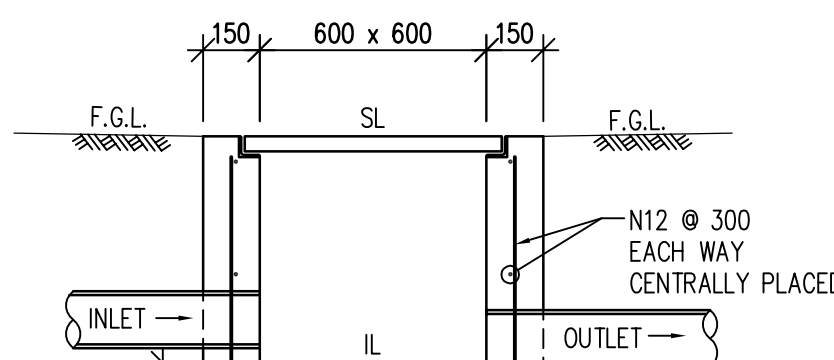


450 x 450 STORMWATER PIT  
PRECAST CONCRETE PITS MAY BE  
SUBSTITUTED SUBJECT TO APPROVAL  
SCALE 1:20

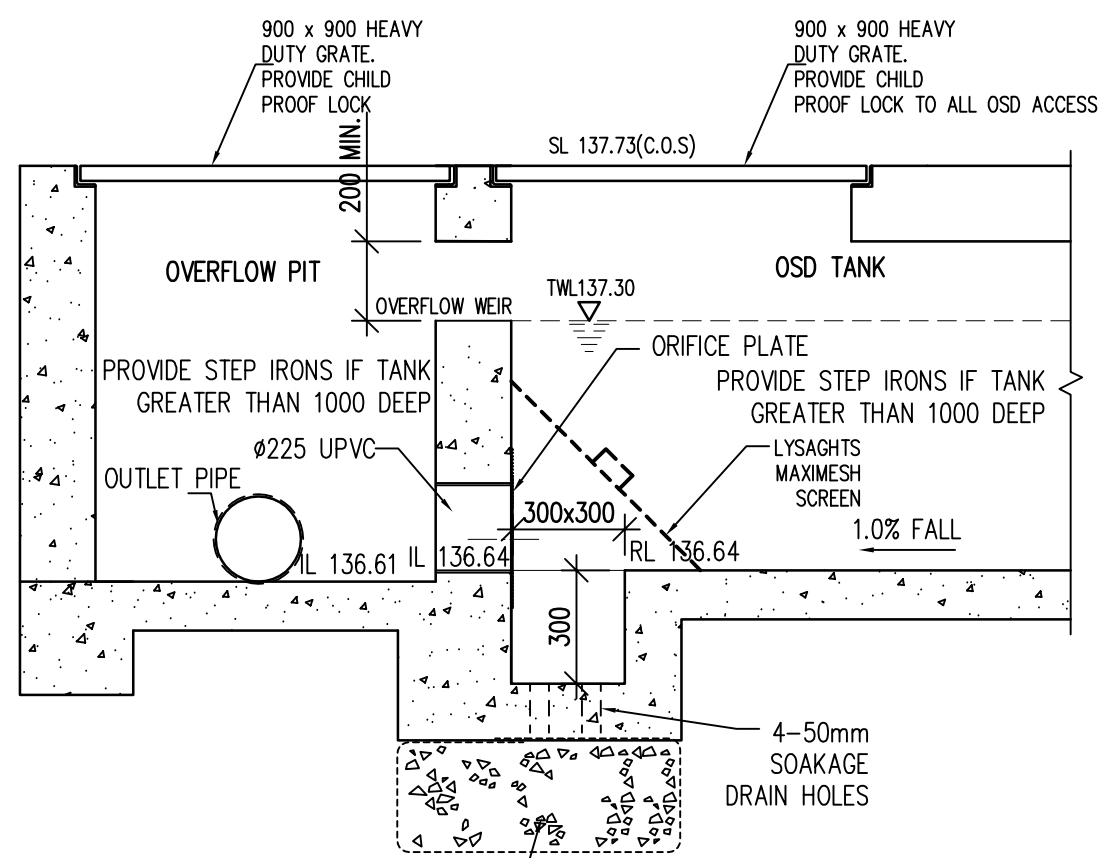
600 x 600 STORMWATER PIT  
PRECAST CONCRETE PITS MAY BE  
SUBSTITUTED SUBJECT TO APPROVAL  
SCALE 1:20



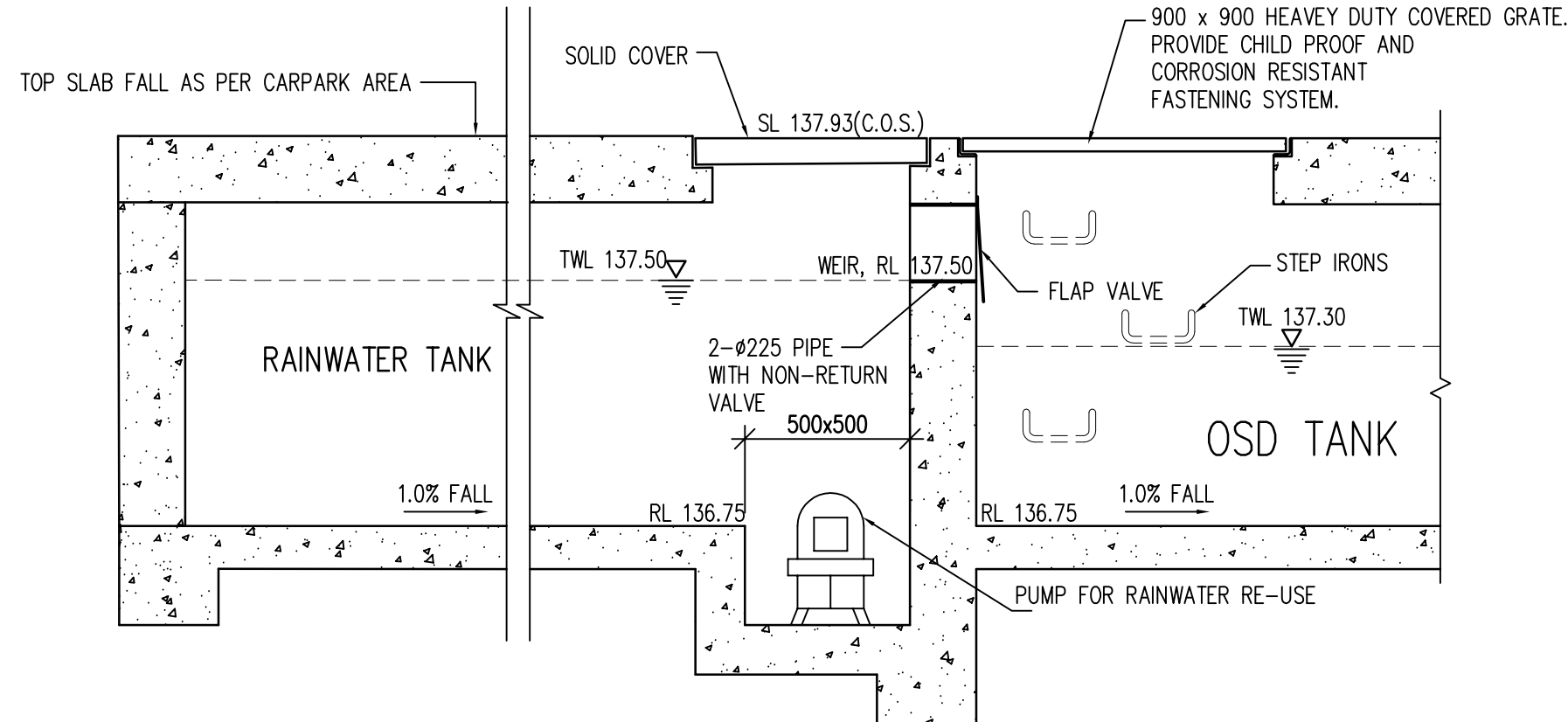
SECTION A-A  
SCALE 1:20



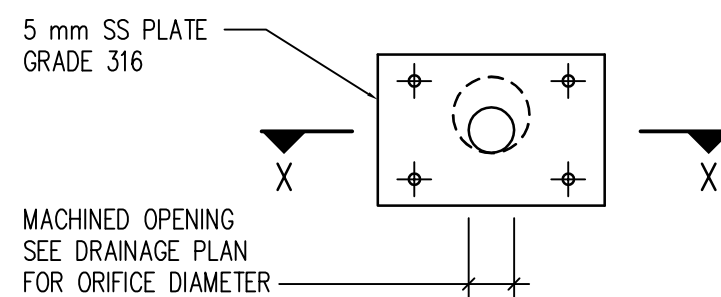
SECTION B-B  
SCALE 1:20



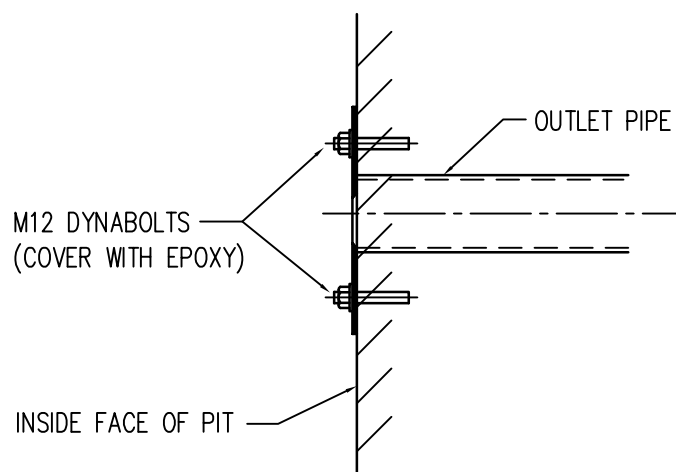
SECTION 1  
SCALE 1:20



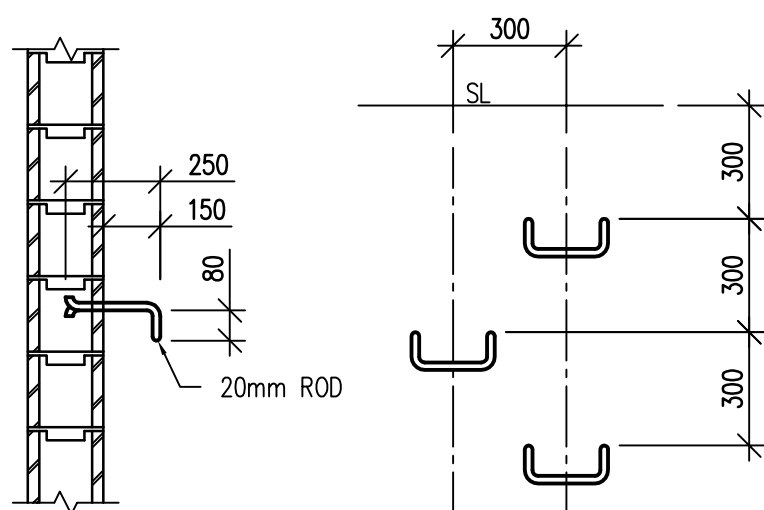
SECTION 2  
SCALE 1:20



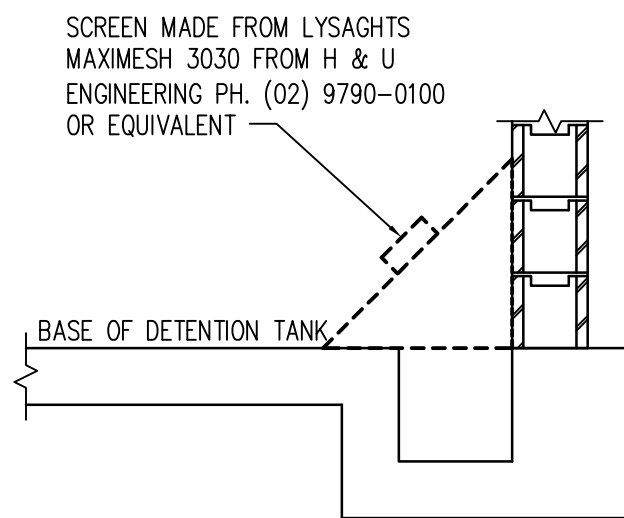
ORIFICE PLATE ARRANGEMENT  
SCALE 1:10



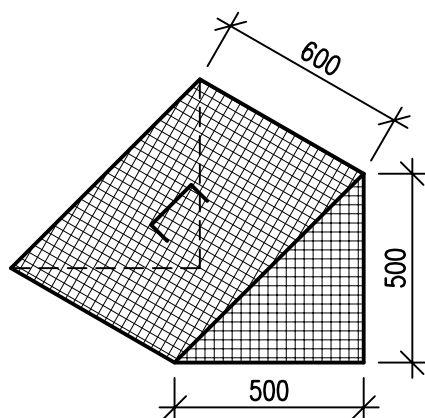
SECTION X-X  
SCALE 1:10



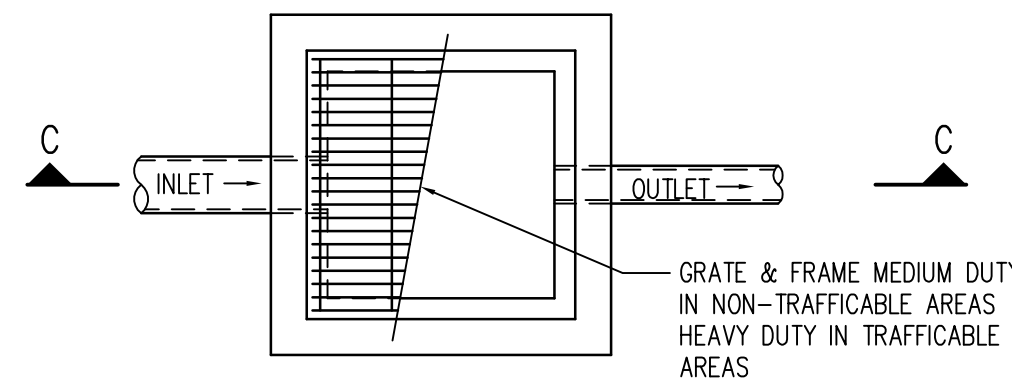
STEP IRON DETAIL  
PROVIDE STEP IRONS WHEN PITS/TANKS  
ARE GREATER THAN 1000 DEEP



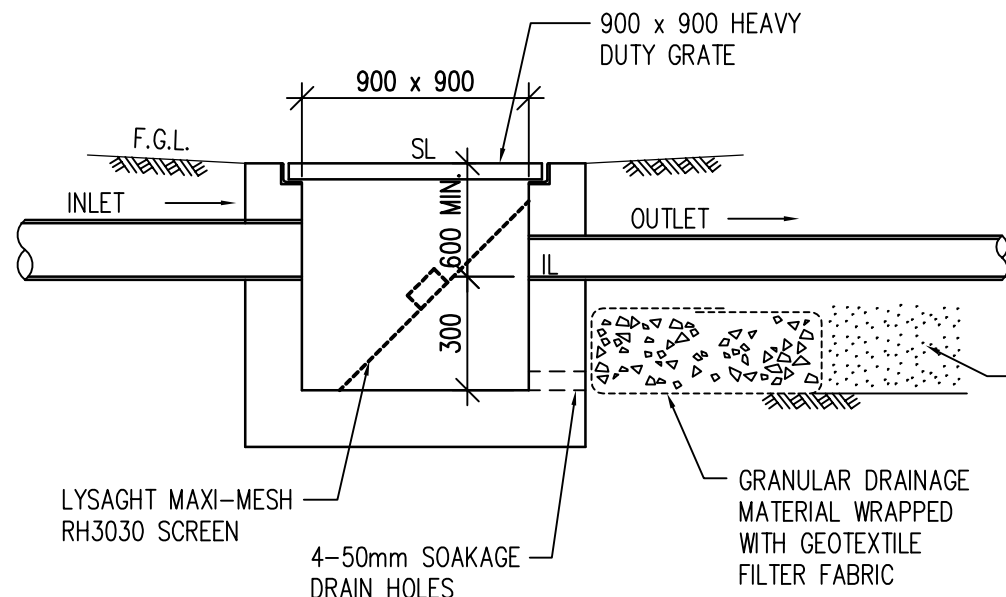
LITTER & LEAF SCREEN DETAIL  
NTS



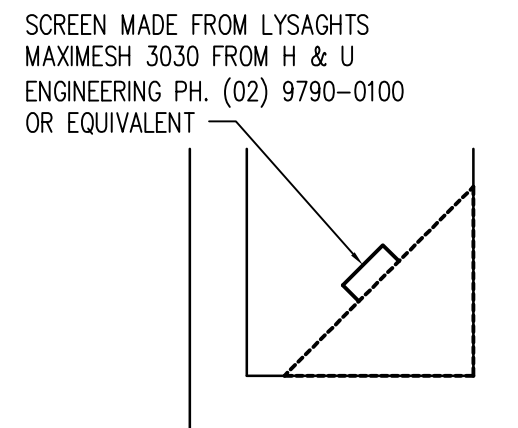
ISOMETRIC VIEW



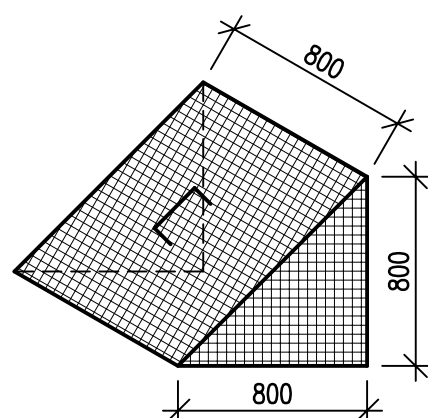
900 x 900 SILT ARRESTOR PIT  
PRECAST CONCRETE PITS MAY BE  
SUBSTITUTED SUBJECT TO APPROVAL



SECTION C-C



LITTER & LEAF SCREEN DETAIL  
NTS



ISOMETRIC VIEW

PRELIMINARY DRAWING  
NOT TO BE USED FOR CONSTRUCTION PURPOSES

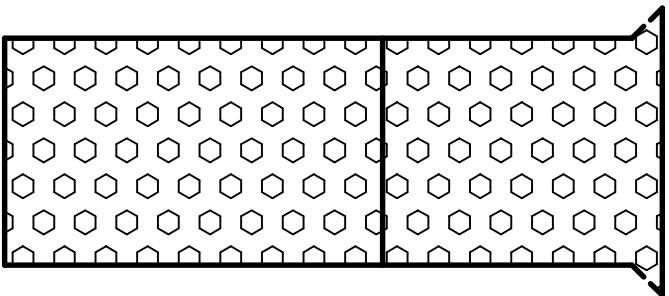
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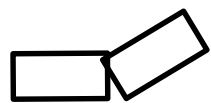
10 October 2023

LEGEND:

PROPOSED BUILDING OUTLINE  
PROPRIETARY SILT FENCE



TEMPORARY CONSTRUCTION EXIT



TEMPORARY HAY BALES/SANDBAGS



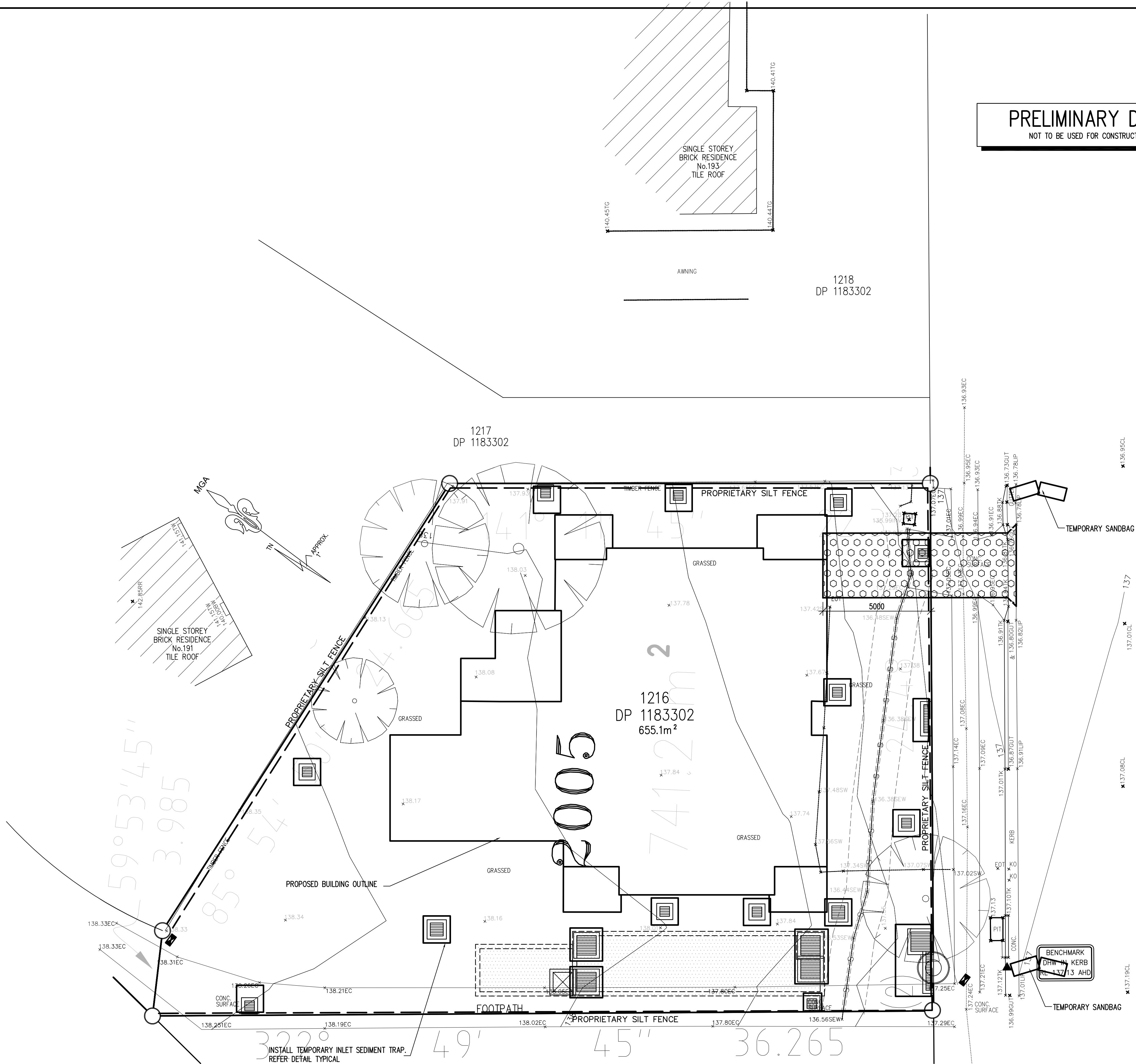
PROPOSED DRAINAGE PIT  
WITH INLET SEDIMENT TRAP

EROSION CONTROL NOTES:

- ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED PRIOR TO SITE DISTURBANCE
- STRIPPING OF GRASS AND VEGETATION ETC. FROM SITE SHALL BE KEPT TO A MINIMUM
- TOPSOIL FROM ALL AREAS THAT WILL BE DISTURBED TO BE STRIPPED AND STOCKPILED ON SITE.
- ALL SEDIMENT CONTROL STRUCTURES TO BE INSPECTED AFTER EACH RAINFALL EVENT FOR STRUCTURAL DAMAGE AND ALL TRAPPED SEDIMENT TO BE REMOVED TO A NOMINATED SOIL STOCKPILE SITE

PRELIMINARY DRAWING

NOT TO BE USED FOR CONSTRUCTION PURPOSES



EROSION AND SEDIMENT CONTROL PLAN

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D	11.01.23	ARCH'S NEW PLAN
C	05.10.22	ARCH'S NEW PLAN
B	10.06.22	ARCH'S NEW PLAN
A	08.04.22	ARCH'S NEW PLAN
REV	DATE	NOTATION/AMENDMENT
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HYDRAULIC CONSULTANT

LANDSCAPE CONSULTANT

BUSINESS PARTNER:

PROJECT:

BOARDING HOUSING DEVELOPMENT  
189 RIVERSIDE DRIVE,  
AIRDS, NSW, 2560

TITLE:

EROSION AND SEDIMENT  
CONTROL PLAN

FILE:

22003-C03d

PLOTTED:

STATUS:

DA

DATE:	SCALE:	Consultant Job No:	PROJECT No:
07.02.22	1:100	22003	BGWW7
STAGE:	DRAWN:	CHECKED:	APPROVED:
DA	DC	ME	ME

TYPE:

C

C03

REV:

D





# NOTIFICATION PLANS

## BOARDING HOUSE DEVELOPMENT

189 RIVERSIDE DR, AIRDS, NSW 2560 LOT: 1216 / DP: 1183302 / DP: 609357



01 RIVERSIDE DRIVE PERSPECTIVE

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11	23.03.09	DA ISSUE
10	23.02.28	DA ISSUE
09	22.12.21	DA ISSUE
08	22.12.07	DA ISSUE
07	22.11.16	DA ISSUE
06	22.10.04	DA ISSUE
05	22.07.25	REVISED DA ISSUE
ISSUE	DATE	AMENDMENTS



CLIENT  
**NSW LAHC**  
LOCKED BAG 5022  
  
PARRAMATTA NSW 2124  
PHONE: 1800 738 718

PROJECT  
**BOARDING HOUSE  
DEVELOPMENT**  
LOT: 1216 / DP: 1183302  
189 RIVERSIDE DR, AIRDS, NSW 2560

TITLE  
**NOTIFICATION COVER**

SCALE N/A  
  
APPROVED  
DRAWN  
CHECKED  
  
DATE  
STATUS  
OCT 2020  
DA

PROJECT NUMBER  
**20035**

DRAWING NUMBER  
**A700**

ISSUE  
**11**





LEGEND - TREE

- TREE: EXISTING TO BE REMOVED
- TREE: EXISTING TO BE RETAINED
- PROPOSED LANDSCAPING
- PROPOSED SHRUBS
- PROPOSED ACCENTS
- PROPOSED GRASSES AND GROUNDCOVERS
- PROPOSED TURF
- PROPOSED PAVING
- MULCH
- COMMUNAL OPEN SPACE
- CARPARK
- PATHWAY

PLANT SCHEDULE

Symbol	Botanic Name	Common Name	Height x Width (m)	Pot Size	Spacin
<strong>Trees</strong>					
Cua	<i>Cupaniopsis anacardioides</i>	Tuckeroo	7 x 5	75L	As Show
Er	<i>Elaeocarpus reticulatus</i>	Blueberry Ash	12 x 5	75L	As Show
MTB	<i>Magnolia grandiflora</i> 'Teddy Bear'	Teddy Bear Magnolia	4 x 2.5	75L	As Show
TL	<i>Tristania lusciosa</i>	Water Gum	10 x 8	75L	As Show
MI	<i>Melaleuca linariifolia</i>	Snow in Summer	8 x 2.5	75L	As Show
<strong>Shrubs / Accents</strong>					
AsM	<i>Acmena smithii</i> 'Minor'	Dwarf Lilly Pilly	3 x 2	300mm	As Show
Ca	<i>Correa alba</i>	White Correa	1 x 1.5	300mm	As Show
CLJ	<i>Callistemon 'Little John'</i>	Bottlebrush	1.5 x 1.5	300mm	As Show
De	<i>Doryanthes excelsa</i>	Gymea Lily	2 x 2	300mm	As Show
MCT	<i>Melaleuca linariifolia</i> 'Claret Tops'	Honey Myrtle	1 x 1	300mm	As Show
PRR	<i>Photinia 'Red Robin'</i>	Photinia	2.5 x 3	300mm	As Show
Wf	<i>Westringia fruticosa</i> 'Aussie Box'	Coastal Rosemary	0.7 x 0.7	300mm	As Show
<strong>Groundcovers/ Grasses</strong>					
Dc	<i>Dianella caerulea</i>	Paroo Lily	0.7 x 0.7	150mm	5/m2
Dr	<i>Dichondra repens</i>	Kindney Weed	0.2 x 1.5	150mm	5/m2
Hv	<i>Hardenbergia violacea</i>	Purple Coral Pea	Spreading	150mm	5/m2
Hs	<i>Hibbertia scandens</i>	Golden Guinea Flower	0.2 x 1.5	150mm	5/m2
LT	<i>Lomandra longifolia</i> 'Tanika'	Mat Rush	0.7 x 0.7	150mm	5/m2



01 GROUND FLOOR PLAN

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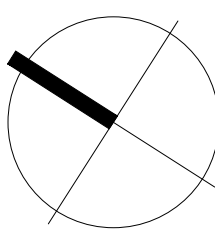
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08	23.02.28	DA ISSUE
07	23.01.06	DA ISSUE
ISSUE	DATE	AMENDMENTS



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PARRAMATTA NSW 2124  
PHONE: 1800 738 718

PROJECT  
**BOARDING HOUSE  
DEVELOPMENT**  
LOT: 1216 / DP:1183302  
189 RIVERSIDE DR, AIRDS, NSW 2560

TITLE  
**NOTIFICATION PLAN**



SCALE  
1:100 @ A1 / 1:200 @ A3

APPROVED  
DRAWN  
CHECKED  
DATE  
STATUS

CHECKED  
OCT 2020  
DA

PROJECT NUMBER  
**20035**

DRAWING NUMBER  
**A701**

ISSUE  
**09**

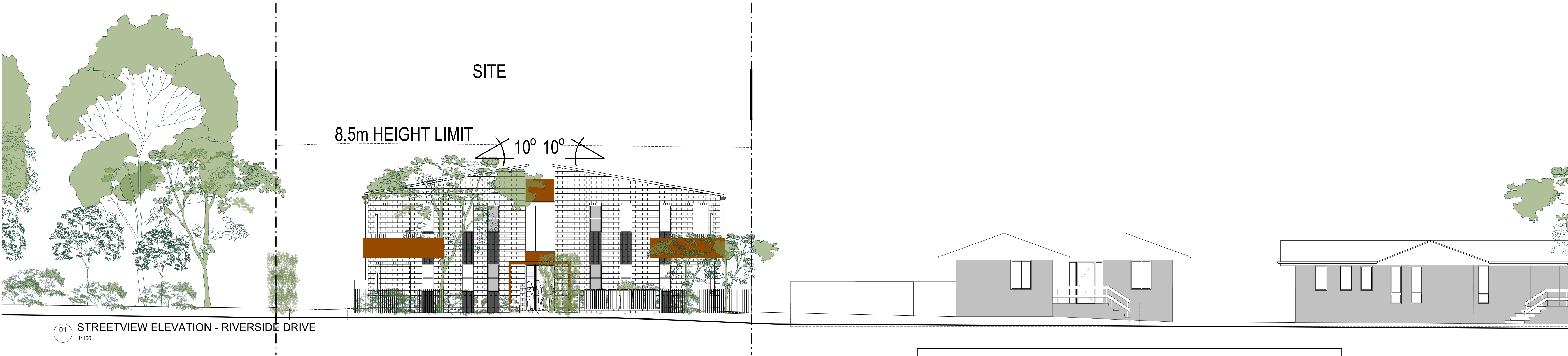




# NOTIFICATION PLANS

## BOARDING HOUSE DEVELOPMENT

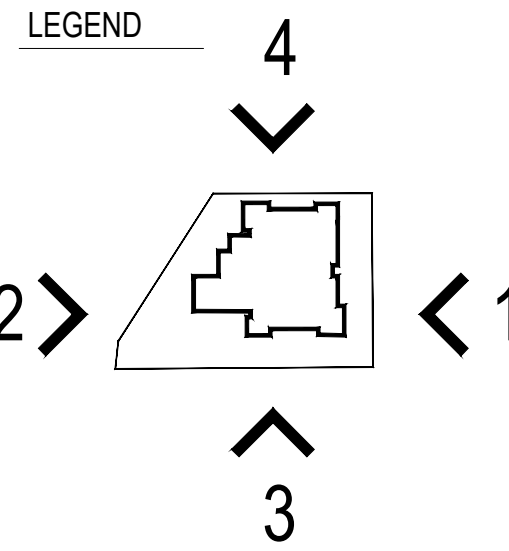
189 RIVERSIDE DR, AIRDS, NSW 2560 LOT: 1216 / DP: 1183302 / DP: 609357



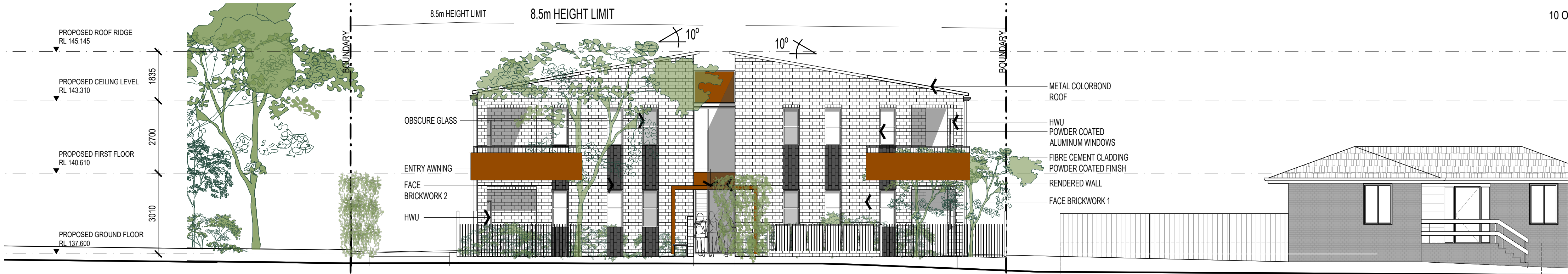
PROPOSED DEVELOPMENT DATA				
SITE AREA PROPOSED (sqm)	741.11			
TITLE DESCRIPTION	1216 (D.P.1183302) / Elizabeth Walk (D.P.609357)			
PROPOSED NUMBER OF DWELLINGS	8 rooms - 8 Studios (100%)			
			REQUIREMENT	PROPOSED
SETBACKS	Campbelltown Sustainable City DCP Vol.1 (Boarding houses s.17.2.3)	Front Setback	5.5m (Note: Min 4m required for MDH under DCP)	3.91m
		Side Setback	0.9m (ground) 1.5m (above ground level) (Note: Min 0.9m required for MDH under DCP)	1.5m
		Rear Setback	5m (ground) 10m (above ground level) (note: Min 4m/ground floor and 6m/upper floor required for MDH under DCP)	4m
BUILDING HEIGHT	Housing SEPP		9m	7.64m
FSR	Campbelltown LEP		0.55:1	0.55
PARKING	Housing SEPP	Accessible	8 x 0.2 = 1.6 car spaces	2 spaces
MOTORCYCLE	Housing SEPP		8 / 5 = 2 motorcycle spaces (Min. 1 motorcycle space per 5 rooms)	2 spaces
BICYCLE	Housing SEPP		(Bicycle: Apply the rates for an RFB under the Campbelltown DCP which is 1 space per 5	4 spaces



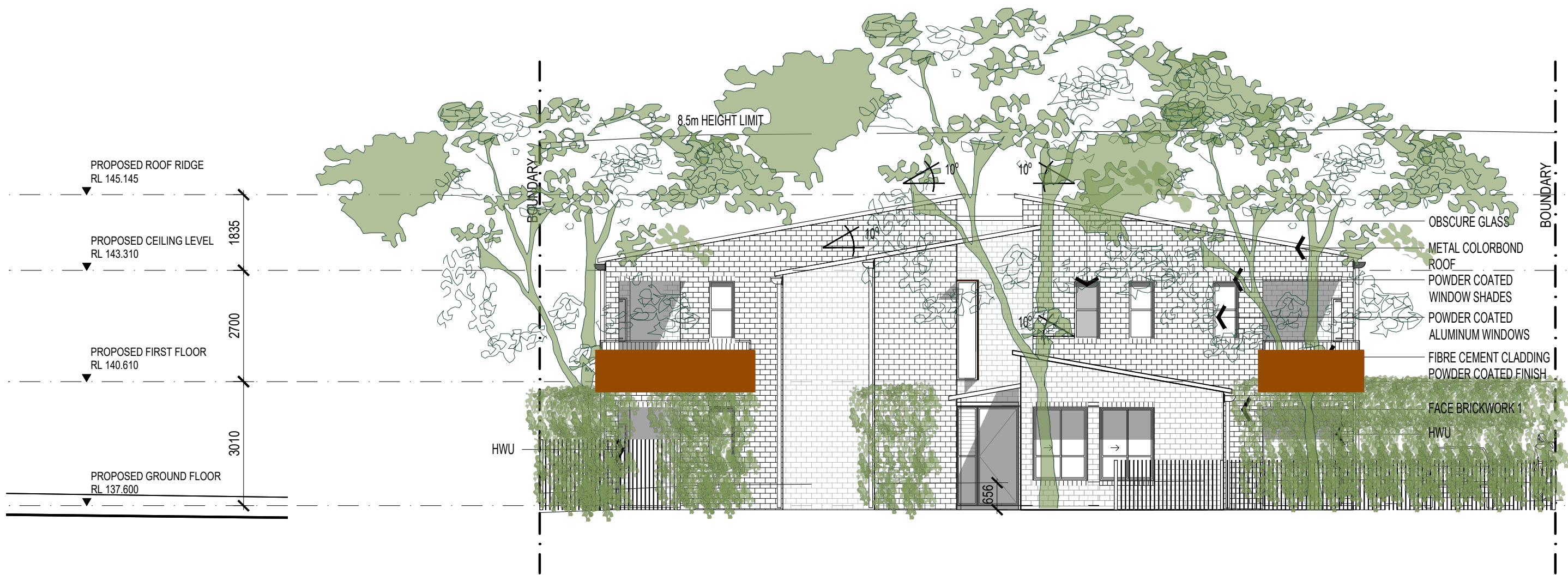




01 SOUTH ELEVATION - 1



02 NORTH ELEVATION - 2



03 WEST ELEVATION - 3



04 EAST ELEVATION - 4



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ISSUE	DATE	AMENDMENTS
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06	22.10.04	DA ISSUE
05	22.07.25	REVISED DA ISSUE



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PROJECT  
BOARDING HOUSE  
DEVELOPMENT  
LOT: 1216 / DP:1183302  
189 RIVERSIDE DR, AIRDS, NSW 2560

TITLE  
NOTIFICATION ELEVATIONS

SCALE  
1:100 @ A1

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CHECKED CHECKED  
DATE OCT 2020  
STATUS DA

PROJECT NUMBER  
20035

DRAWING NUMBER  
A703

ISSUE  
10







EXTERNAL FINISHES

ELEMENTS	MATERIALS	CODE	FINISHES / COLOUR / MANUFACTURER
ROOF	METAL CLADDING	MC-1	FIELDERS SHADOWLINE 305 OR SIMILAR COLORBOND COLOUR: DUNE MATT
FACIA, GUTTER / DOWNPIPE	METAL CLADDING	MC-2	FIELDERS OR SIMILAR COLORBOND COLOUR: MONUMENT MATT
WALLS	BRICK	BF-1	AUSTRAL BRICKS - NUBRIK ARTISAN - AURORA OR SIMILAR
	BRICK	BF-2	AUSTRAL BRICKS - METALLUX - BLACKSTONE OR SIMILAR
	RENDER	CF-1	DULUX COLOUR: TERRAIN

WINDOW AND DOORS	ALUMINIUM FRAME WITH STANDARD LAMINATED GLASS TO BCA & BASIX	AF-1	COLORBOND COLOUR: MONUMENT MATT
FENCING	STEEL FENCING	FF-1	COLORBOND FENCING COLOUR : DUNE
WINDOW SHADES AND AWNING	ALUMINIUM AWNING	SF-1	HEKA HOODS CORE SERIES COLORBOND COLOUR : TERRAIN
WINDOW SHADES AND AWNING	FIBRE CEMENT CLADDING	FC-1	POWDER COATED FINISH COLORBOND COLOUR : TERRAIN

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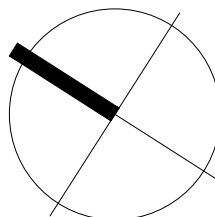
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ISSUE	DATE	AMENDMENTS



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PHONE: 1800 738 718

PROJECT  
**BOARDING HOUSE  
DEVELOPMENT**  
LOT: 1216 / DP:1183302  
189 RIVERSIDE DR, AIRDS, NSW 2560

TITLE  
**NOTIFICATION  
FINISHES SCHEDULE**



SCALE: 1:100 @ A1  
  
APPROVED  
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DATE  
STATUS  
OCT 2020  
DA

PROJECT NUMBER  
DRAWING NUMBER

20035

**A704**

**11**

ISSUE

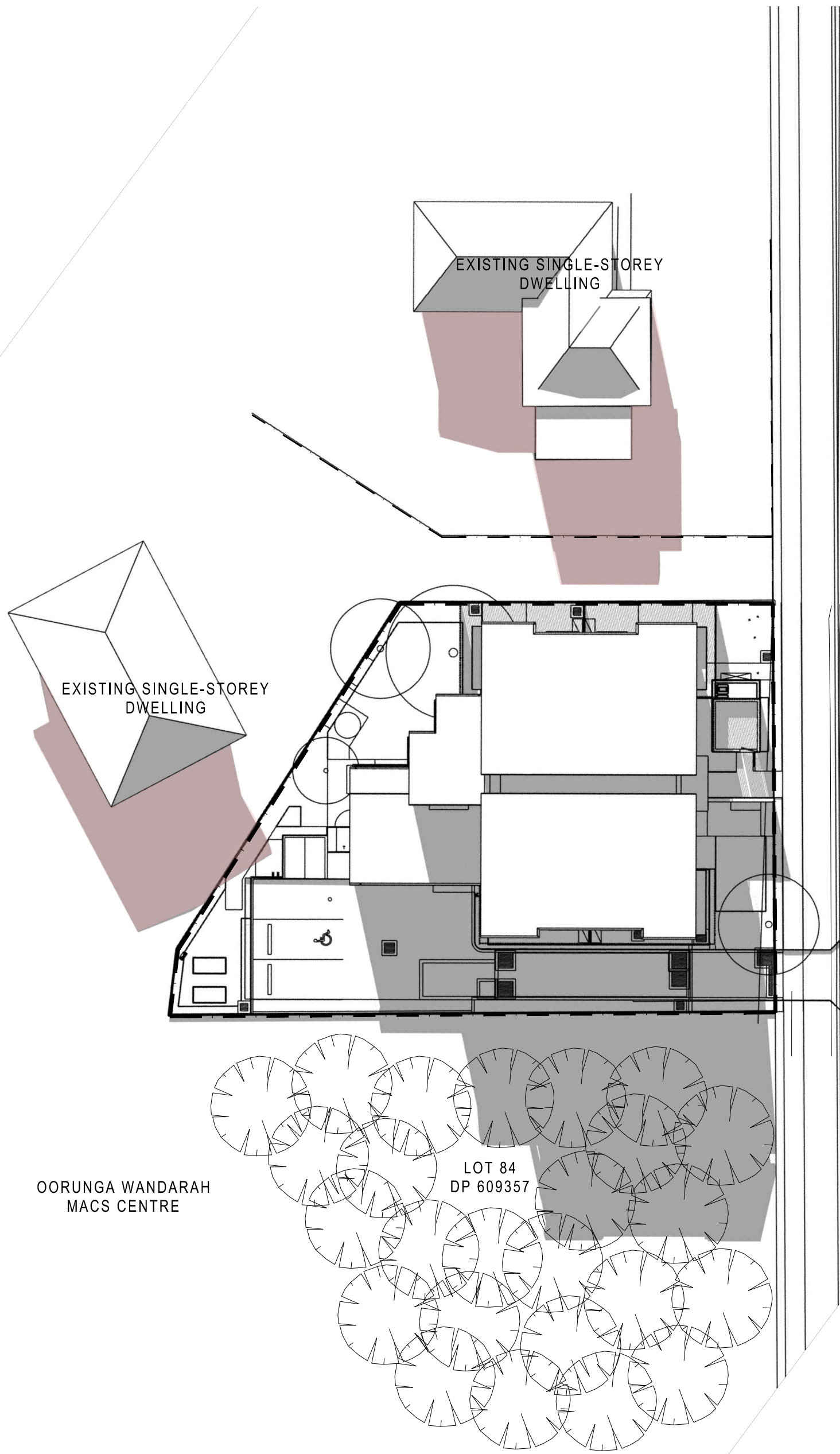




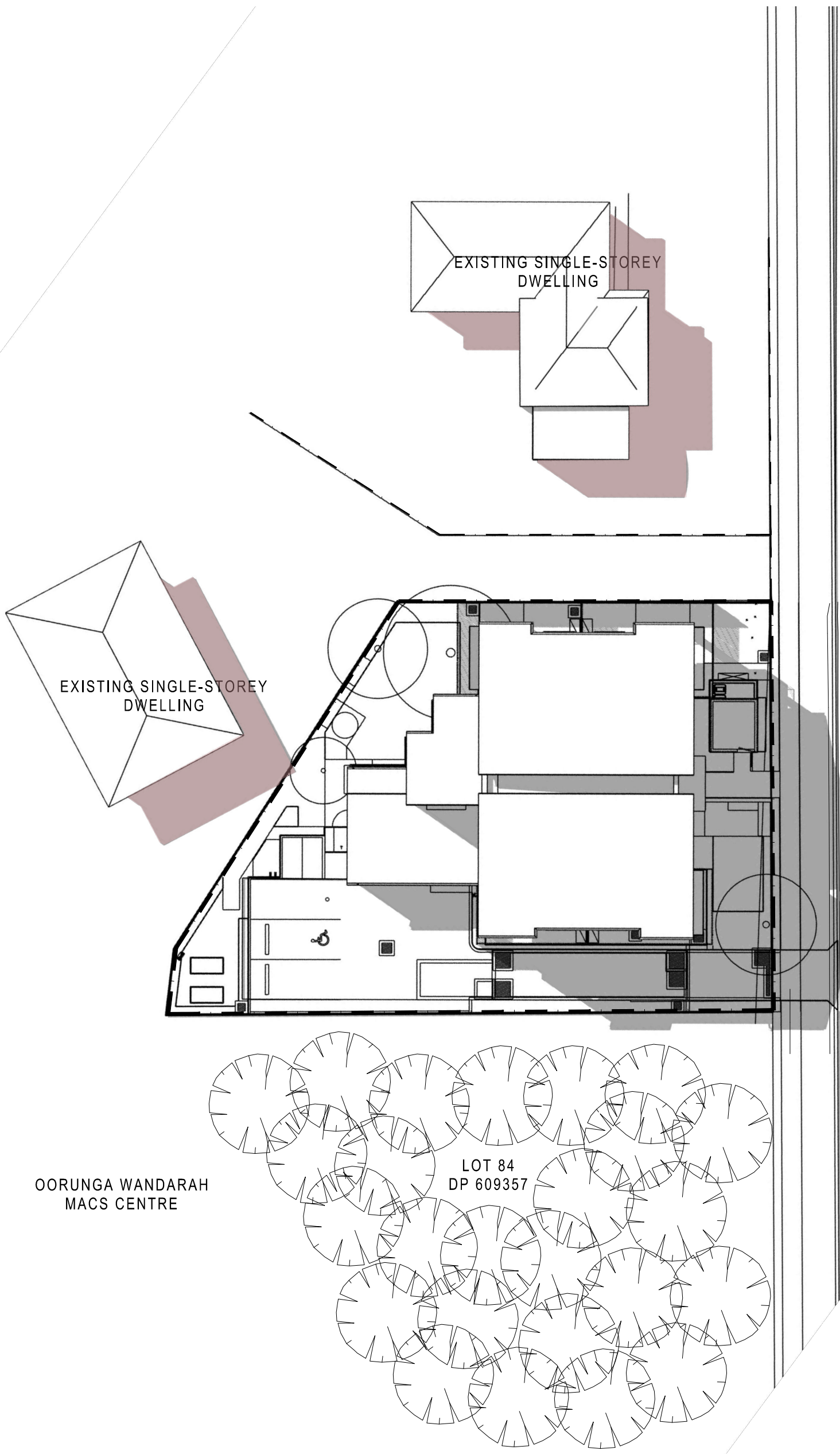
LEGEND

SHADOWS CAST BY NEIGHBOURING BUILDINGS

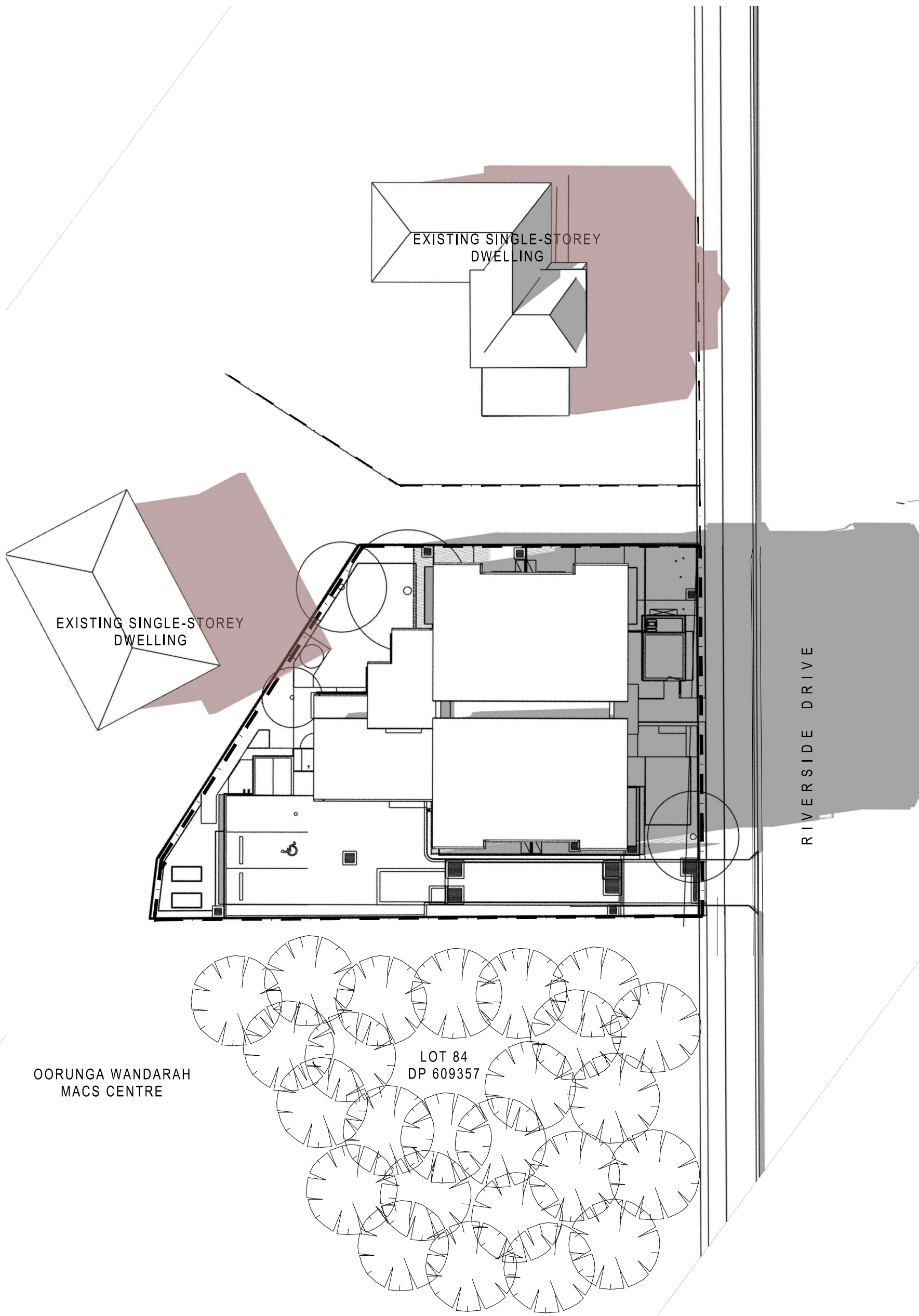
SHADOWS CAST BY PROPOSED DEVELOPMENT



01 June 21st - 9:00am



02 June 21st - 12:00pm



03 June 21st - 3:00pm

